

DESCRIPTION OF PROPERTY

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS. THEREON EXECTED, SITUATE, LYING AND BEING IN THE INCORPORATIO PLALOG OF ROOKALLE CENTRE, TOWN OF HEMPSTEAD, COUNTY OF NASSAU AND STATE OF NEW YORK, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

RUNNING THENCE WESTERLY ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, A DISTANCE OF 50.70 FEET;

BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF SUNRISE HIGHWAY AND THE WESTERLY SIDE NORTH PARK AVENUE;

RUNNING THENCE WESTERLY ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, 40 FEET;

THENCE NORTHERLY ON A LINE PARALLEL WITH THE WESTERLY SIDE OF NORTH PARK AVENUE, 100 FEET TO LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY;

THENCE EASTERLY ALONG SAID LAND NOW OR FORWERLY OF THE KNICKERBOCKER ICE COMPANY AND PARALLE TO THE MORTHERLY SIDE OF SUNRISE HIGHWAY, 40 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE; THENCE SOUTHERLY ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, 100 FEET TO THE CORNER, AT THE POINT OR PLACE OF BEGINNING.

AS TO LOTS 10, 17, AND 35

BEGINNING AT A POINT ON THE NORTHERLY SIDE OF SUNIUSE HIGHMAY (UBSERVER STREET), DISTANT 200 FEET WESTERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE WESTERLY SIDE OF NORTH PARK AVENUE AND THE NORTHERLY SIDE OF SUNINES HIGHMAY;

RUNNING THENCE MORTH 76 DEGREES 20 MINUTES WEST, ALONG THE NORTHERLY SIDE OF SUNRISE FEET TO LAND FORMERLY OF DAMSON, NOW OR FORMERLY OF EUGENIE SERUCHADELLO LOCURTO;

THENCE ALONG SAID LAST-MENTIONED LAND, NORTH 17 DEGREES OD MINUTES EAST, 200 FEET TO LAND OF THE LONG ISLAND RAUROAD;

THENCE ALONG SAID RAILROAD LAND, SOUTH 76 DEGREES 20 MINUTES EAST, 250 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, SOUTH 17 DEGREES OO MINUTES WEST, 99.75 FEET TO LAND OF THE ROMAN CATHOLIC DIOCESE OF ROCKVILLE CENTRE, NEW YORK;

THENCE SOUTH 17 DEGREES OD MINUTES WEST, 100 FEET TO THE NORTHERLY SIDE OF SUNRISE HIGHWAY, AT THE POINT OR PLACE OF BEDINNING.

BEGINNING AT A POINT ON THE WESTERLY SIDE OF NORTH PARK AMENUE, DISTANT 100 FEET NORTHERLY FROM THE CORNER FORWED BY THE INTERSECTION OF THE WESTERLY SIDE OF MORTH PARK AMENUE AND THE NORTHERLY SIDE OF SUMMER HEMMAN, AND WHICH SAND POINT OF BEGINNING IS ALSO WHERE THE SOUTHERLY SIDE LAND HOW OR FORMERLY OF THE MICKERDOCKER IDE COMPANY INTERSECTS THE SAND WESTERLY SIDE OF NORTH PARK MEMBLE;

RUNNING THENCE NORTH 76 DEGREES 20 MINUTES WEST ALONG THE SOUTHERLY SIDE SAID LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY, 40 FEET;

THENCE NORTH 17 DEGREES OO MINUTES EAST, 3 INCHES (0,25 FEET TAX MAP);

THENCE SOUTH 76 DEGREES 20 MINUTES EAST, 40 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE SOUTH 17 DEGREES OD MINUTES WEST ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, 3 INCHES (0.25 FERT TAX MAP) TO THE POINT OR PLACE OF BEGINNING.

DESCRIPTION OF PROPERTY (OVERALL)

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVMENTS THEREON ERECED, STRATE, LYNNG AND BEING IN THE INCOMPORATION VILLAGE OF RODIVILLE CENTRE. TOWN OF PROPERTY OUT OF THE COUNTY OF NASSAU AND STATE OF NEW YORK, BOUNCED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF SUNRISE HIGHWAY (OBSERVER STREET) AND THE WESTERLY SIDE OF NORTH PARK AVENUE (PARK AVENUE);

RUNNING THENCE ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, NORTH 76 DEGREES 20 MINUTES WEST. A DISTANCE OF 40.00 FEET;

THENCE NORTH 17 DEGREES OO MINUTES EAST, A DISTANCE OF 100,00 FEET

THENCE NORTH 76 DEGREES 20 MINUTES WEST, A DISTANCE OF 160,00 FEET;

THENCE SOUTH 17 DEGREES 00 MINUTES WEST, A DISTANCE OF 100.00 FEET TO THE NORTHERLY SIDE OF

THENCE ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, NORTH 76 DEGREES 2D MINUTES WEST, A DISTANCE OF 100.70 FEET;

THENCE NORTH 17 DEGREES 00 MINUTES EAST, A DISTANCE OF 171.95 FEET TO THE SOUTHERLY WIDENED LINE OF SOUTH STATION PLAZA;

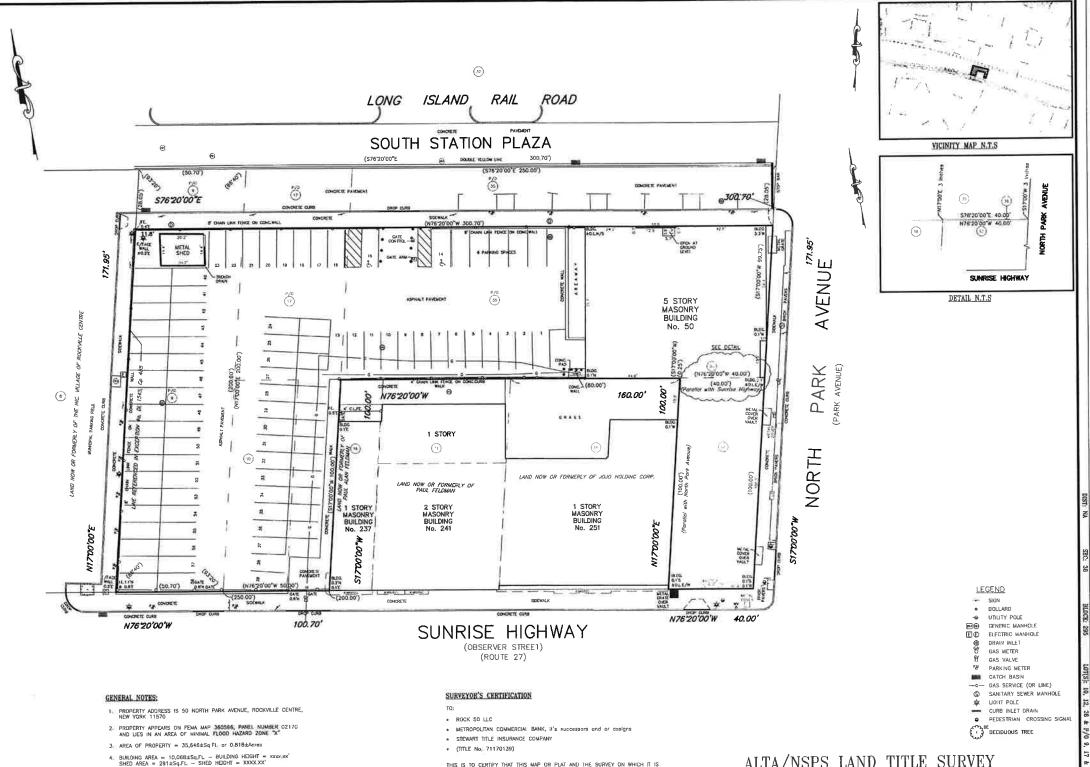
THENCE ALONG SAID SOUTHERLY WIDENED LINE OF SOUTH STATION PLAZA, SOUTH 76 DEGREES 20 MINUTES EAST, A DISTANCE OF JOD, 70 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, SOUTH 17 DECREES OO MINUTES WEST, A DISTANCE OF 171.95 FEET TO THE CORNER, AT THE POINT OR PLACE OF BEGINNING.

SECTION 38 BLOCK 295 LOTS 10, 12, 36 & P/O LOTS 9, 17 & 35

SCHEDULE B - EXCEPTIONS FROM POLICY COVERAGE

- BOUNDARY LINE AGREEMENT IN LIBER 1545 PAGE 485 (AS TO TAX LOT 9) AFFECTS SUBJECT PROPERTY IN THAT PARTIES AGREED THAT THE PREJISES OWNED BY SAID PARTIES ARE CONSIDERATION OF THE PROPERTY OF SAID PARTIES ARE CONSIDERATION. THE SAID AND PARTIES ARE CONSIDERATION OF THE SAID AND PARTIES ARE COUNTY ON THE SAID AND PARTIES OF THE COUNTY OF THE SAID AND PARTIES OF THE COUNTY OF THE MASIER PROPERTY CARD FOR TAX SECTION 38, BLOCK 295 AS A VESTING OF TITLE TO THE WILLAGE OF PROCHMILE CENTRE ON COTOGER 14, 1965 AND FILED IN THE DOCUMENT ROOM ON OCTOBER 14, 1965 IN LIBER 8550 Cp. 65.



- 5 THERE ARE 64 PARKING SPACES INCLUDING 2 HANDICAP SPACES
- 6 NASSAU COUNTY TAX MAP DESIGNATION: SECTION 38 BLOCK 295 LOTS 10, 12, 36 & P/O LOTS 9, 17 & 35
- 7. DEEDS USED TO ASSEMBLE BOUNDARY LIBER 14099 Cp 643 AND LIBER 14099 Cp 650

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MAINLUM STANDARD DETAIL REQUIREMENTS FOR ALTA-PASS LAND TIRE SURVEYS, JOINTLY SETABLISHED AND ACOPTED BY ATA AND INSPS. AND INCLUDES ITEMS 2, 3, 4, 7, 8, 9, 13, 14 AND 20 OF THE TABLE A THEREOF, THE HELDWORK WAS COMPLETED ON AUGUST 5, 2021,

DATE OF PLAT OR MAP: August 9, 2021

ALTA/NSPS LAND TITLE SURVEY

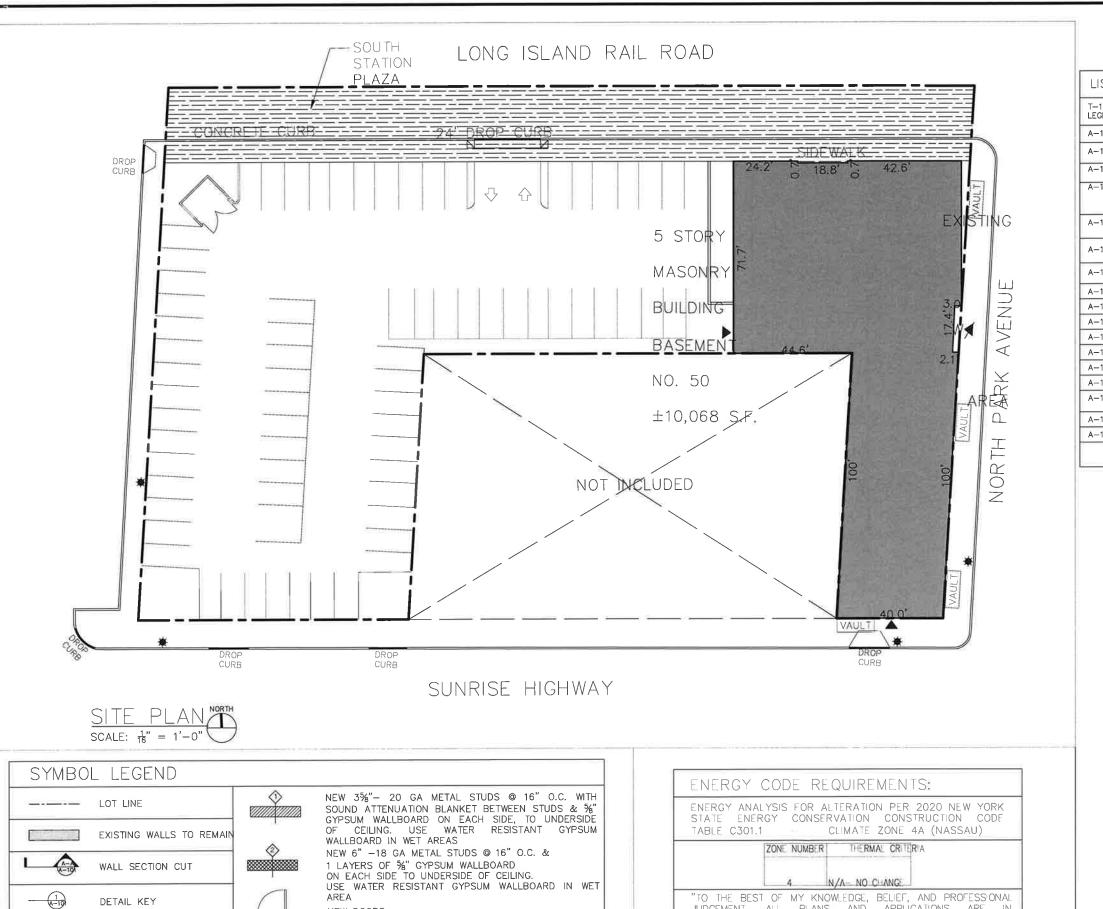
PREPARED FOR: 50 N. PARK AVE REALITY, LLC
MAP OF: Described Property Being Known as Lots 10, 12, 36 &
P/O Lots 9, 17 & 35, Block 295, Section 38 on
The Nassau County Land & Tax Map
LOCATED AT: Incorporated Village of ROCKVILLE CENTRE
COUNTY OF: Nassau, New York
COPPLET TO:

TITLE No.: NA
SCALE: 1"= 20"

SURVEYED ON: January 28, 2021

AK ASSOCIATES
PROFESSIONAL LAND SURVEYORS
ROCKVILLE CENTER, NEW YORK 11570
Tel:(5.16) 678-601.0 | Fax: [5.16] 678-6341

RALPH ANDERSON NY UC No. 48482 DANIEL A. KADYSZEWSI N.Y. U.C. No. 50238



JUDGEMENT, ALL PLANS AND APPLICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION

CODE OF NEW YORK STATE 2020.

DETAIL KEY

COLUMN GRID

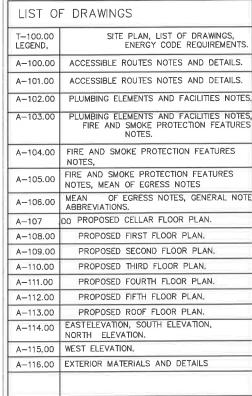
ROOM DESIGNATION

----1

NEW DOORS

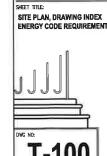
EXISTING DOORS TO REMAIN

DOOR TAG





NO	DATE	REVISIONS	BY
DRAWN BY:		DS	
CHECKED BY:		CRS	
SCALE:		AS NOTED	
ESUE DATE:		2 NOVEMBER 2022	



606.2 CLEAR FLOOR SPACE.
A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3, POSITIONED FOR FORWARD APPROACH, SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED. THE DIP OF THE WORRFLOW.

XCEPIIONS: A CLEAR FLOOR SPACE PROVIDING A PARALLEL APPROACH SHALL BE ERMITTED AT A KITCHEN SINK IN A SPACE WHERE A COOK TOP OR CONVENTIONAL RANGE IS NOT PROVIDED.

2.THE REQUIREMENT FOR KNEE AND TOE CLEARANCE SHALL NOT APPLY TO A LAVATORY IN A TOILET OR BATHING FACILITY FOR A SINGLE OCCUPANT. ACCESSED ONLY THROUGH A PRIVATE OFFICE AND NOT FOR COMMON USE OR

3.A KNEE CLEARANCE OF 24 INCHES (610 MM) MINIMUM ABOVE THE FLOOR SHALL BE PERMITTED AT LAVATORIES AND SINKS USED PRIMARILY BY CHILDREN AGES 6 THROUGH 12 WHERE THE HIGHER OF THE RIM OR COUNTER SURFACE IS 31 INCHES (785 MM) MAXIMUM ABOVE THE FLOOR.

4.A CLEAR FLOOR SPACE PROVIDING A PARALLEL APPROACH SHALL BE PERMITTED AT LAVATORIES AND SINKS USED PRIMARILY BY CHILDREN AGES 5

5.THE REQUIREMENT FOR KNEE AND TOE CLEARANCE SHALL NOT APPLY TO MORE THAN ONE BOWL OF A MULTIBOWL SINK.

6.A CLEAR FLOOR SPACE PROVIDING A PARALLEL APPROACH SHALL BE PERMITTED AT WET BARS,

DIDES PICIONIS OF LAVATORIES AND SINKS SHALL BE 34 INCHES (865 MM) MAXIMUM ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE RIM OR COUNTER SURFACE,

EXCEPTION: A LAVATORY IN A TOILET OR BATHING FACILITY FOR A SINGLE OCCUPANT, ACCESSED ONLY THROUGH A PRIVATE OFFICE AND NOT FOR COMMON USE OR PUBLIC USE, SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 606.3.

AUCETS SHALL COMPLY WITH SECTION 309, HAND-OPERATED METERING AUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

EXCEPTION: AUTOMATIC FAUCETS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 309 PROVIDED THAT THE REACH DEPTH TO ACTIVATE THE FAUCETS AND THE REACH DEPTH TO THE WATER FLOW IS 11 INCHES (280 MM)

606.5 LAVATORIES WITH ENHANCED REACH RANGE. WHERE ENHANCED REACH RANGE IS REQUIRED AT LAVATORIES, FAUCETS AND SOAP DISPENSER CONTROLS SHALL HAVE A REACH DEPTH OF 11 INCHES (280 MM) MAXIMUM, WATER AND SOAP OUTLETS SHALL BE PROVIDED WITH A REACH MMM, MANIMUM, WALLER AND SUAP OFFICES SHALL BE PROVIDED WITH A REACH DEPTH OF 11 INCHES (280 MM) MAXIMUM. THE LAVATORY SHALL BE 34 INCHES (865 MM) MAXIMUM ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE RIM OR COUNTER SURFACE.

EXCEPTIONS: 1.ENHANCED REACH RANGE FAUCETS SHALL NOT BE REQUIRED ON LAVATORIES PROVIDED WITH AUTOMATIC FAUCETS WHERE THE REACH DEPTH TO ACTIVATE THE FAUCETS AND THE REACH DEPTH TO THE WATER OUTLET IS 11 INCHES

2.ENHANCED REACH RANGE SOAP DISPENSERS SHALL NOT BE REQUIRED ON LAVATORIES PROVIDED WITH AUTOMATIC DISPENSERS WHERE THE REACH DEPTH TO ACTIVATE THE SOAP DISPENSERS AND THE REACH DEPTH TO THE SOAP OUTLET IS 11 INCHES (280 MM) MAXIMUM.

606.6 EXPOSED PIPES AND SURFACES.
WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE
INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT, THERE
SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS,

INTERNATIONAL BUILDING CODE 2021 CHAPTER 7

FIRE AND SMOKE PROTECTION

USER NOTE:

FEATURES

ABOUT THIS CHAPTER: CHAPTER 7 PROVIDES DETAILED REQUIREMENTS FOR FIRE-RESISTANCE-RATED CONSTRUCTION, INCLUDING STRUCTURAL MEMBERS, WALLS, PARTITIONS AND HORIZONTAL ASSEMBLIES, OTHER PORTIONS OF THE CODE DESCRIBE WHERE CERTAIN FIRE-RESISTANCE-RATED ELEMENTS ARE REQUIRED. THIS CHAPTER SPECIFIES HOW THESE ELEMENTS ARE CONSTRUCTED, HOW OPENINGS IN WALLS AND PARTITIONS ARE PROTECTED AND HOW PENETRATIONS OF SUCH ELEMENTS ARE PROTECTED

SECTION 701

GENERAL

701.1 SCOPE

THE PROVISIONS OF THIS CHAPTER SHALL GOVERN THE MATERIALS, SYSTEMS AND ASSEMBLIES USED FOR STRUCTURAL TRE RESISTANCE AND FIRE-RESISTANCE-RATED CONSTRUCTION SEPARATION OF ADJACENT SPACES TO SAFEGUARD AGAINST THE SPREAD OF FIRE AND SMOKE WITHIN A BUILDING AND THE SPREAD OF FIRE TO OR FROM BUILDINGS.

SECTION702

MULTIPLE-USE FIRE

ASSEMBLIES

702.1 MULTIPLE-USE FIRE ASSEMBLIES. FIRE ASSEMBLIES THAT SERVE MULTIPLE PURPOSES IN A BUILDING SHALL COMPLY WITH ALL OF THE REQUIREMENTS THAT ARE APPLICABLE FOR EACH OF THE INDIVIDUAL FIRE ASSEMBLIES.

SECTION703

FIRE-RESISTANCE RATINGS AND FIRE

TESTS ES

703.1 SCOPE.

MATERIALS PRESCRIBED HEREIN FOR FIRE RESISTANCE SHALL CONFORM TO THE REQUIREMENTS OF THIS CHAPTER.

703.2 FIRE RESISTANCE.

THE FIRE-RESISTANCE RATING OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 703.2.1 OR 703.2.2 WITHOUT THE USE OF AUTOMATIC SPRINKLERS OR ANY OTHER FIRE SUPPRESSION SYSTEM BEING INCORPORATED, OR IN ACCORDANCE WITH SECTION 703.2.3.

703.2.1 TESTED ASSEMBLIES.

A FIRE-RESISTANCE RATINGOF BUILDING ELEMENTS. COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED BY THE TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263. THE FIRE-RESISTANCE RATINGOF PENETRATIONS AND FIRE-RESISTANT JOINTSYSTEMS SHALL BE DETERMINED IN ACCORDANCE WITH SECTIONS 714 AND 715, RESPECTIVELY.

703.2.1.1 NONSYMMETRICAL WALL CONSTRUCTION. INTERIOR WALLS AND PARTITIONS OF NONSYMMETRICAL CONSTRUCTION SHALL BE TESTED WITH BOTH FACES EXPOSED TO THE FURNACE, AND THE ASSIGNEDFIRE-RESISTANCE RATINGSHALL BE THE SHORTEST DURATION OBTAINED FROM THE TWO TESTS CONDUCTED IN COMPLIANCE WITH ASTM E119 OR UL 263, WHERE EVIDENCE IS FURNISHED TO SHOW THAT THE WALL WAS TESTED WITH THE LEAST FIRE—RESISTANT SIDE EXPOSED TO THE FURNACE, SUBJECT TO ACCEPTANCE OF THE BUILDING OFFICIAL. THE WALL NEED NOT BE SUBJECTED TO TESTS FROM THE OPPOSITE SIDE (SEE SECTION 705.5 FOR EXTERIOR WALLS)

703.2.1.2 COMBUSTIBLE COMPONENTS COMBUSTIBLE AGGREGATES ARE PERMITTED IN GYPSUM AND PORTLAND CEMENT CONCRETE MIXTURES FOR FIRE—RESISTANCE—RATED CONSTRUCTION. ANY COMPONENT MATERIAL OR ADMIXTURE IS PERMITTED IN ASSEMBLIES IF THE RESULTING TESTED ASSEMBLY MEETS THE FIRE-RESISTANCE TEST REQUIREMENTS OF THIS CODE.

703 2 1 3 RESTRAINED CLASSIFICATION FIRE-RESISTANCE-RATED ASSEMBLIES TESTED UNDER ASTM E119 OR UL 263 SHALL NOT BE CONSIDERED TO BE RESTRAINED UNLESS EVIDENCE SATISFACTORY TO THE BUILDING OFFICIAL IS FURNISHED BY THE REGISTERED DESIGN PROFESSIONAL SHOWING THAT THE CONSTRUCTION QUALIFIES FOR A RESTRAINED CLASSIFICATION IN ACCORDANCE WITH ASTM E119 OR UL 263. RESTRAINED CONSTRUCTION SHALL BE IDENTIFIED ON THE CONSTRUCTION DOCUMENTS.

703.2.1.4 SUPPLEMENTAL FEATURES. WHERE MATERIALS, SYSTEMS OR DEVICES THAT HAVE NOT BEEN TESTED AS PART OF A FIRE-RESISTANCE-RATED ASSEMBLY ARE INCORPORATED INTO THE BUILDING ELEMENT, COMPONENT OR ASSEMBLY, SUFFICIENT DATA SHALL BE MADE AVAILABLE TO THE BUILDING OFFICIAL TO SHOW THAT THE REQUIRED FIRE-RESISTANCE RATING IS NOT REDUCED.

703.2.1.5 EXTERIOR BEARING WALLS.

IN DETERMINING THE FIRE-RESISTANCE RATING OF EXTERIOR BEARING WALLS, COMPLIANCE WITH THE ASTM E119 OR UL 263 CRITERIA FOR UNEXPOSED SURFACE TEMPERATURE RISE AND IGNITION OF COTTON WASTE DUE TO PASSAGE OF FLAME OR GASES IS REQUIRED ONLY FOR A PERIOD OF TIME CORRESPONDING TO THE REQUIRED FIRE-RESISTANCE RATING OF AN EXTERIOR NONBEARING WALL WITH THE SAME FIRE SEPARATION DISTANCE, AND IN A BUILDING OF THE SAME GROUP. WHERE THE FIRE-RESISTANCE RATING DETERMINED IN ACCORDANCE WITH THIS EXCEPTION EXCEEDS THE IRE-RESISTANCE RATING DETERMINED IN ACCORDANCE WITH ASTM F119 OR UL 263. THE FIRE EXPOSURE TIME PERIOD. WATER PRESSURE AND APPLICATION DURATION CRITERIA FOR THE HOSE STREAM TEST OF ASTM E119 OR UL 263 SHALL BE BASED ON THE FIRE-RESISTANCE RATING DETERMINED IN ACCORDANCE WITH THIS SECTION,

703.2.2 ANALYTICAL METHODS. THE FIRE RESISTANCE OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES ESTABLISHED BY AN ANALYTICAL METHOD SHALL BE BY ANY OF THE METHODS LISTED IN THIS SECTION

BASED ON THE FIRE EXPOSURE AND ACCEPTANCE CRITERIA SPECIFIED IN ASTM E119 OR UL 263.

FIRE-RESISTANCE DESIGNS DOCUMENTED IN APPROVED SOURCES 2 PRESCRIPTIVE DESIGNS OF FIRE-RESISTANCE-RATED

BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES AS PRESCRIBED IN SECTION 721.

3 CALCULATIONS IN ACCORDANCE WITH SECTION 722.

4.ENGINEERING ANALYSIS BASED ON A COMPARISON OF BUILDING ELEMENT, COMPONENT OR ASSEMBLIES DESIGNS HAVING FIRE—RESISTANCE RATINGS AS DETERMINED BY THE TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263.

5.FIRE-RESISTANCE DESIGNS CERTIFIED BY AN APPROVED

703.2.3 APPROVED ALTERNATE METHOD. THE FIRE RESISTANCEOF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES NOT COMPLYING WITH SECTION 703.2.1 OR 703.2.2 SHALL BE PERMITTED TO BE ESTABLISHED BY AN ALTERNATIVE PROTECTION METHOD IN ACCORDANCE WITH SECTION 104.11. 703.3NONCOMBUSTIBILITY TESTS.

THE TESTS INDICATED IN SECTION 703.3.1SHALL SERVE AS CRITERIA FOR ACCEPTANCE OF BUILDING MATERIALS AS SET FORTH IN SECTIONS 602.2, 602.3 AND 602.4 IN TYPES I, II, AND IV CONSTRUCTION. THE TERM "NONCOMBUSTIBLE" DOES NOT APPLY TO THE FLAME SPREAD CHARACTERISTICS OF INTERIOR FINISHOR TRIMMATERIALS. A MATERIAL SHALL NOT BE CLASSIFIED AS A NONCOMBUSTIBLE BUILDING CONSTRUCTION MATERIAL IF IT IS SUBJECT TO AN INCREASE IN COMBUSTIBILITY OR FLAME SPREAD BEYOND THE LIMITATIONS HEREIN ESTABLISHED THROUGH THE EFFECTS OF AGE, MOISTURE OR OTHER ATMOSPHERIC CONDITIONS.

703.3:1 NONCOMBUSTIBLE MATERIALS MATERIALS REQUIRED TO BE NONCOMBUSTIBLE SHALL BE TESTED IN ACCORDANCE WITH ASTM E136. ALTERNATELY, MATERIALS REQUIRED TO BE NONCOMBUSTIBLE SHALL BE TESTED IN ACCORDANCE WITH ASTM E2652 USING THE ACCEPTANCE CRITERIA PRESCRIBED BY ASTM E136.

EXCEPTION: MATERIALS HAVING A STRUCTURAL BASE OF NONCOMBUSTIBLE MATERIAL AS DETERMINED IN ACCORDANCE WITH ASTM F136 OR WITH ASTM F2652 USING THE ACCEPTANCE CRITERIA PRESCRIBED BY ASTM E136, WITH A SURFACING OF NOT MORE THAN 0.125 INCH (3.18 MM) IN THICKNESS HAVING A FLAME SPREAD INDEX NOT GREATER HAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723 SHALL BE ACCEPTABLE AS NONCOMBUSTIBLE.

703 4 FIRE-RESISTANCE-RATED GLAZING FIRE-RESISTANCE-RATED GLAZING, WHEN TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 AND COMPLYING WITH THE REQUIREMENTS OF SECTION 707, SHALL BE PERMITTED. FIRE-RESISTANCE-RATED GLAZING SHALL BEAR A LABEL MARKED IN ACCORDANCE WITH TABLE 716.1(1) ISSUED BY AN AGENCY AND SHALL BE PERMANENTLY IDENTIFIED ON

703.5 MARKING AND IDENTIFICATION. WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONSOR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:

BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR

2.INCLUDE LETTERING NOT LESS THAN 3 INCHES (76 MM) IN HEIGHT WITH A MINIMUM 3/8-INCH (9.5 MM) STROKE IN A

WORDING, FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS." OR OTHER WORDING.

703.6 DETERMINATION OF NONCOMBUSTIBLE PROTECTION TIME CONTRIBUTION. ..

THE TIME, IN MINUTES, CONTRIBUTED TO THE FIRE-RESISTANCE RATING BY THE NONCOMBUSTIBLE PROTECTION OF MASS TIMBERBUILDING ELEMENTS, COMPONENTS, OR ASSEMBLIES, SHALL BE ESTABLISHED THROUGH A COMPARISON OF ASSEMBLIES TESTED USING PROCEDURES SET FORTH IN ASTM E119 OR UL 263. THE TEST ASSEMBLIES SHALL BE IDENTICAL IN CONSTRUCTION, LOADING AND MATERIALS, OTHER THAN THE NONCOMBUSTIBLE PROTECTION. THE TWO TEST ASSEMBLIES SHALL BE TESTED TO THE SAME CRITERIA OF STRUCTURAL FAILURE WITH THE FOLLOWING CONDITIONS:

TEST ASSEMBLY 1 SHALL BE WITHOUT PROTECTION.

2.TEST ASSEMBLY 2 SHALL INCLUDE THE REPRESENTATIVE NONCOMBUSTIBLE PROTECTION. THE PROTECTION SHALL BE FULLY DEFINED IN TERMS OF CONFIGURATION DETAILS, ATTACHMENT DETAILS, JOINT SEALING DETAILS, ACCESSORIES AND ALL OTHER RELEVANT DETAILS.

THE NONCOMBUSTIBLE PROTECTION TIME CONTRIBUTION SHALL BE DETERMINED BY SUBTRACTING THE FIRE-RESISTANCE TIME, IN MINUTES, OF TEST ASSEMBLY 1 FROM THE FIRE-RESISTANCE TIME, IN MINUTES, OF TEST ASSEMBLY 2.

703.7 SEALING OF ADJACENT MASS TIMBER FLEMENTS: IN BUILDINGS OF TYPES IV-A, IV-B AND IV-C CONSTRUCTION, SEALANT OR ADHESIVE SHALL BE PROVIDED TO RESIST THE PASSAGE OF AIR IN THE FOLLOWING LOCATIONS:

1.AT ABUTTING EDGES AND INTERSECTIONS OF MASS TIMBERBUILDING ELEMENTS REQUIRED TO BE FIRE-RESISTANCE

2 AT ABUTTING INTERSECTIONS OF MASS TIMBERBUILDING ELEMENTS AND BUILDING ELEMENTSOF OTHER MATERIALS WHERE BOTH ARE REQUIRED TO BE FIRE-RESISTANCE RATED.

SEALANTS SHALL MEET THE REQUIREMENTS OF ASTM CO20 ADHESIVES SHALL MEET THE REQUIREMENTS OF ASTM D3498. EXCEPTION: SEALANTS OR ADHESIVES NEED NOT BE PROVIDED WHERE THEY ARE NOT A REQUIRED COMPONENT OF A TESTED FIRE-RESISTANCE-RATED ASSEMBLY

SECTION 706 FIRE WALLS

706.1 GENERAL

FIRE WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTIONS 706.2 THROUGH 706.11. THE EXTENT AND LOCATION OF SUCH FIRE WALLS SHALL PROVIDE A COMPLETE SEPARATION. WHERE A FIRE WALL SEPARATES OCCUPANCIES THAT ARE REQUIRED TO BE SEPARATED BY A FIRE BARRIER WALL, THE MOST RESTRICTIVE REQUIREMENTS OF EACH SEPARATION SHALL APPLY. 706.1.1PARTY WALLS.

ANY WALL LOCATED ON A LOT LINE BETWEEN ADJACENT BUILDINGS, WHICH IS USED OR ADAPTED FOR JOINT SERVICE BETWEEN THE TWO BUILDINGS SHALL BE CONSTRUCTED AS A FIRE WALL IN ACCORDANCE WITH SECTION 706. PARTY WALLS SHALL BE CONSTRUCTED WITHOUT OPENINGS AND SHALL CREATE SEPARATE BUILDINGS.

1. OPENINGS IN A PARTY WALL SEPARATING AN ANCHOR BUILDINGAND A MALL SHALL BE IN ACCORDANCE WITH SECTION 4024221

2 PARTY WALLS AND FIRE WALLS ARE NOT REQUIRED ON LOT LINES DIVIDING A BUILDING FOR OWNERSHIP PURPOSES WHERE THE AGGREGATE HEIGHT AND AREA OF THE PORTIONS OF THE BUILDING LOCATED ON BOTH SIDES OF THE LOT LINE DO NOT EXCEED THE MAXIMUM HEIGHT AND AREA REQUIREMENTS OF THIS CODE, FOR THE BUILDING OFFICIAL'S REVIEW AND APPROVAL, THE OFFICIAL SHALL BE PROVIDED WITH COPIES OF DEDICATED ACCESS EASEMENTS AND CONTRACTUAL AGREEMENTS THAT PERMIT THE OWNERS OF PORTIONS OF THE BUILDING LOCATED ON FITHER SIDE OF THE LOT LINE ACCESS. TO THE OTHER SIDE FOR PURPOSES OF MAINTAINING FIRE AND LIFE SAFETY SYSTEMS NECESSARY FOR THE OPERATION OF THE BUILDING.

706.2 STRUCTURAL STABILITY. FIRE WALLS SHALL BE DESIGNED AND CONSTRUCTED TO ALLOW COLLAPSE OF THE STRUCTURE ON FITHER SIDE MITHOUT COLLAPSE OF THE WALL UNDER FIRE CONDITIONS. FIRE WALLS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH NFPA 221 SHALL BE DEEMED TO COMPLY WITH THIS SECTION:

EXCEPTION: IN SEISMIC DESIGN CATEGORIES D THROUGH F. WHERE DOUBLE FIRE WALLS ARE USED IN ACCORDANCE WITH NFPA 221, FLOOR AND ROOF SHEATHING NOT EXCEEDING 3/4 INCH (19.05 MM) THICKNESS SHALL BE PERMITTED TO BE CONTINUOUS THROUGH THE WALL ASSEMBLIES OF LIGHT FRAME CONSTRUCTION.

706.3 MATERIALS FIRE WALLS SHALL BE OF ANY APPROVED NONCOMBUSTIBLE MATERIALS. EXCEPTION: BUILDINGS OF TYPE V CONSTRUCTION.

706 4 FIRE-RESISTANCE RATING

FIRE WALLS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY TABLE 706.4

706.5 HORIZONTAL CONTINUITY.

FIRE WALLS SHALL BE CONTINUOUS FROM EXTERIOR WALL TO EXTERIOR WALL AND SHALL EXTEND NOT LESS THAN 18 INCHES (457 MM) BEYOND THE EXTERIOR SURFACE OF EXTERIOR WALLS.

EXCEPTIONS:

1.FIRE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF COMBUSTIBLE EXTERIOR SHEATHING OR SIDING PROVIDED THAT THE EXTERIOR WALL HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR FOR A HORIZONTAL DISTANCE OF NOT LESS THAN 4 FEET (1220 MM) ON BOTH SIDES OF THE FIRE WALL, OPENINGS WITHIN SUCH EXTERIOR WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR.

2, FIRE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHING, EXTERIOR SIDING OR OTHER NONCOMBUSTIBLE EXTERIOR INISHES PROVIDED THAT THE SHEATHING, SIDING OR OTHER EXTERIOR NONCOMBUSTIBLE FINISH EXTENDS A HORIZONTAL DISTANCE OF NOT LESS THAN 4 FEET (1220 MM) ON BOTH SIDES OF THE FIRE WALL.

3.FIRE WALLS SHALL BE PERMITTED TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHING WHERE THE BUILDING ON EACH SIDE OF THE FIRE WALL IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.

706.5.1 EXTERIOR WALLS.

WHERE THE FIRE WALL INTERSECTS EXTERIOR WALLS, THE FIRE—RESISTANCE RATING AND OPENING PROTECTION OF THE EXTERIOR WALLS SHALL COMPLY WITH ONE OF THE FOLLOWING:

1.THE EXTERIOR WALLS ON BOTH SIDES OF THE FIRE WALL SHALL HAVE A 1-HOUR FIRE-RESISTANCE RATING WITH 3/4-HOUR PROTECTION WHERE OPENING PROTECTION IS REQUIRED BY SECTION 705.8, THE FIRE-RESISTANCE RATING OF THE EXTERIOR WALL SHALL EXTEND NOT LESS THAN 4 FEET (1220 MM) ON EACH SIDE OF THE INTERSECTION OF THE FIRE WALL TO EXTERIOR WALL. EXTERIOR WALL INTERSECTIONS AT FIRE WALLS THAT FORM AN ANGLE EQUAL TO OR GREATER THAN 180 DEGREES (3.14 RAD) DO NOT NEED EXTERIOR WALL

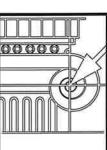
2.BUILDINGS OR SPACES ON BOTH SIDES OF THE INTERSECTING FIRE WALL SHALL ASSUME TO HAVE AN IMAGINARY LOT LINE AT THE FIRE WALL AND EXTENDING BEYOND THE EXTERIOR OF THE FIRE WALL. THE LOCATION OF THE ASSUMED LINE IN RELATION TO THE EXTERIOR WALLS AND THE FIRE WALL SHALL BE SUCH THAT THE EXTERIOR WALL AND OPENING PROTECTION MEET THE REQUIREMENTS SET FORTH IN SECTIONS 705.5 AND 705.8. SUCH PROTECTION IS NOT REQUIRED FOR EXTERIOR WALLS TERMINATING AT FIRE WALLS THAT FORM AN ANGLE EQUAL TO OR GREATER THAN 180 DEGREES (3.14 RAD)

706.5.2 HORIZONTAL PROJECTING ELEMENTS. FIRE WALLS SHALL EXTEND TO THE OUTER EDGE OF HORIZONTAL PROJECTING ELEMENTS SUCH AS BALCONIES, OVERHANGS, CANOPIES, MARQUEES AND SIMILAR PROJECTIONS THAT ARE WITHIN 4 FEET (1220 MM) OF THE FIRE WALL:

EXCEPTIONS:

1.HORIZONTAL PROJECTING ELEMENTS WITHOUT CONCEALED SPACES, PROVIDED THAT THE EXTERIOR WALL BEHIND AND BELOW THE PROJECTING ELEMENT HAS NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION FOR A DISTANCE NOT LESS THAN THE DEPTH OF THE PROJECTING ELEMENT ON BOTH SIDES OF THE FIRE WALL, OPENINGS WITHIN SUCH EXTERIOR WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR.

2.NONCOMBUSTIBLE HORIZONTAL PROJECTING ELEMENTS WITH CONCEALED SPACES, PROVIDED THAT A MINIMUM 1-HOUR FIRE—RESISTANCE—RATED WALL EXTENDS THROUGH THE CONCEALED SPACE. THE PROJECTING ELEMENT SHALL BE SEPARATED FROM THE BUILDING BY NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION FOR A DISTANCE ON EACH SIDE OF THE FIRE WALL EQUAL TO THE DEPTH OF THE PROJECTING ELEMENT. THE WALL IS NOT REQUIRED TO EXTEND UNDER THE PROJECTING ELEMENT WHERE THE BUILDING EXTERIOR WALL IS NOT LESS THAN 1-HOUR FIRE-RESISTANCE RATED FOR A DISTANCE ON EACH SIDE OF THE FIRE WALL FOLIAL TO THE DEPTH OF THE PROJECTING ELEMENT. OPENINGS WITHIN SUCH EXTERIOR WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR.



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PLUMBING ELEMENTS AND FACILITIES NOTES FIRE AND SMOKE PROTECTION

HEET TITLES

THROUGH THE CONCEALED SPACE TO THE OUTER EDGES OF THE PROJECTING ELEMENTS. THE EXTERIOR WALL BEHIND AND THE PROJECTING ELEMENT SHALL BE OF NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION FOR A DISTANCE NOT LESS THAN THE DEPTH OF THE PROJECTING FLEMENTS ON BOTH SIDES OF THE FIRE WALL, OPENINGS WITHIN SUCH EXTERIOR WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR.

706.6 VERTICAL CONTINUITY.

FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A ABOVE BOTH ADJACENT ROOFS.

EXCEPTIONS:

STEPPED BUILDINGS IN ACCORDANCE WITH SECTION 706.6.1.

2.TWO-HOUR FIRE-RESISTANCE-RATED WALLS SHALL PERMITTED TO TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED THAT

1 THE LOWER ROOF ASSEMBLY WITHIN 4 FEET (1220 MM) OF THE WALL HAS NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING AND THE ENTIRE LENGTH AND SPAN OF SUPPORTING ELEMENTS FOR THE RATED ROOF ASSEMBLY HAS A TRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

2.2. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET (1220 MM) OF THE FIRE WALL.

2,3,EACH BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.

3.WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHING, DECK OR SLABS WHERE BOTH BUILDINGS ARE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET (1220 MM) OF THE FIRE WALL.

4.IN BUILDINGS OF TYPES III, IV AND V CONSTRUCTION, WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF COMBUSTIBLE ROOF SHEATHING OR DECKS, PROVIDED THAT ALL OF THE FOLLOWING REQUIREMENTS ARE MET:

4.1.ROOF OPENINGS ARE NOT LESS THAN 4 FEET (1220 MM) FROM THE FIRE WALL.

4,2.THE ROOF IS COVERED WITH A MINIMUM CLASS B ROOF COVERING.

4.3. THE ROOF SHEATHING OR DECK IS CONSTRUCTED OF FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FEET (1220 MM) ON BOTH SIDES OF THE WALL OR THE ROOF IS PROTECTED WITH 5/8-INCH (15.9 MM) TYPE X GYPSUM BOARDDIRECTLY BENEATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECK, SUPPORTED BY NOT LESS THAN 2-INCH (51 MM) NOMINAL LEDGERS ATTACHED TO THE SIDES OF THE ROOF FRAMING MEMBERS FOR A DISTANCE OF NOT LESS THAN 4 FEET (1220 MM) ON BOTH SIDES OF THE FIRE WALL.

IN BUILDINGS DESIGNED IN ACCORDANCE WITH SECTION 510.2. FIRE WALLS LOCATED ABOVE THE 3-HOUR HORIZONTAL ASSEMBLY REQUIRED BY SECTION 510.2, ITEM 1 SHALL PERMITTED TO EXTEND FROM THE TOP OF THIS HORIZONTAL

6.BUILDINGS WITH SLOPED ROOFS IN ACCORDANCE WITH SECTION 706.6.2

706.6.1 STEPPED BUILDINGS

WHERE A FIRE WALL ALSO SERVES AS AN EXTERIOR WALL FOR BUILDING AND SEPARATES BUILDINGS HAVING DIFFERENT ROOF LEVELS, SUCH WALL SHALL TERMINATE AT A POINT NOT LESS THAN 30 INCHES (762 MM) ABOVE THE LOWER ROOF LEVEL. EXTERIOR WALLS ABOVE THE FIRE WALLEXTENDING MORE THAN 30 INCHES (762 MM) ABOVE THE LOWER ROOF THAN NOT LESS SHALL BF OF FIRE-RESISTANCE-RATED CONSTRUCTION FROM BOTH SIDES WITH OPENINGS PROTECTED BY FIRE ASSEMBLIES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. PORTIONS OF THE EXTERIOR WALLSGREATER THAN 15 FEET (4572 MM) ABOVE THE LOWER ROOF SHALL BE OF CONSTRUCTION NONFIRE-RESISTANCE-RATED THERWISE RATED CONSTRUCTION IS REQUIRED BY OTHER PROVISIONS OF THIS CODE.

EXCEPTION: A FIRE WALLSERVING AS PART OF AN EXTERIOR WALLTHAT SEPARATES BUILDINGS HAVING DIFFERENT ROOF LEVELS SHALL BE PERMITTED TO TERMINATE AT THE JNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB OF THE LOWER ROOF, PROVIDED THAT ITEMS 1, 2 AND 3 ARE MET. THE EXTERIOR WALL ABOVE THE FIRE WALLIS NOT REQUIRED TO BE OF FIRE-RESISTANCE-RATED CONSTRUCTION UNLESS REQUIRED BY OTHER PROVISIONS OF THIS CODE.

1.THE LOWER ROOF ASSEMBLY WITHIN 10 FEET (3048 MM) OF THEFIRE WALL HAS NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING

THE ENTIRE LENGTH AND SPAN OF SUPPORTING ELEMENTS THE RATED ROOF ASSEMBLY SHALL HAVE A IRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR

3.OPENINGS IN THE LOWER ROOF SHALL NOT BE LOCATED WITHIN 10 FEET (3048 MM) OF THE FIRE WALL

706.6.2 BUILDINGS WITH SLOPED ROOFS.

WHERE A FIRE WALL SERVES AS AN INTERIOR WALL FOR A BUILDING, AND THE ROOF ON ONE SIDE OR BOTH SIDES OF THE FIRE WALL SLOPES TOWARD THE FIRE WALL AT A SLOPE GREATER THAN 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12), THE FIRE WALL SHALL EXTEND TO A HEIGHT EQUAL TO THE HEIGHT OF THE ROOF LOCATED 4 FEET (1219 MM) FROM THE FIRE WALL PLUS 30 INCHES (762 MM). THE EXTENSION TERMINATION POINT NOT LESS THAN 30 INCHES (762 MM) OF THE FIRE WALL SHALL BE NOT LESS THAN 30 INCHES (762 MM).

706.7 COMBUSTIBLE FRAMING IN FIRE WALLS.

ADJACENT COMBUSTIBLE MEMBERS ENTERING INTO CONCRETE OR MASONRY FIRE WALL FROM OPPOSITE SIDES SHALL NOT HAVE LESS THAN A 4-INCH (102 MM) DISTANCE BETWEEN EMBEDDED ENDS. WHERE COMBUSTIBLE MEMBERS FRAME INTO HOLLOW WALLS OF WALLS OF HOLLOW UNITS. HOLLOW SPACES SHALL BE SOLIDLY FILLED FOR THE FULL THICKNESS OF THE WALL AND FOR A DISTANCE NOT LESS THAN 4 INCHES (102 MM) ABOVE, BELOW AND BETWEEN THE APPROVED FOR FIREBLOCKING.

706.8 OPENINGS.

EACH OPENING THROUGH A FIRE WALL SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716 AND SHALL NOT EXCEED 156 SQUARE FEET (15 M2). THE AGGREGATE WIDTH OF OPENINGS AT ANY FLOOR LEVEL SHALL NOT EXCEED 25 PERCENT OF THE LENGTH OF THE WALL.

1.OPENINGS ARE NOT PERMITTED IN PARTY WALLS CONSTRUCTED IN ACCORDANCE WITH SECTION 706.1.1.

2.OPENINGS SHALL NOT BE LIMITED TO 156 SQUARE FEET (15 M2) WHERE BOTH BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE

706.9 PENETRATIONS.

PENETRATIONS OF FIRE WALLS SHALL COMPLY WITH SECTION

706.10J OINTS

JOINTS MADE IN OR BETWEEN FIRE WALLS SHALL COMPLY WITH SECTION 715

706 11DUCTS AND AIR TRANSFER OPENINGS.

DUCTS AND AIR TRANSFER OPENINGS SHALL NOT PENETRATE FIRE WALLS.

EXCEPTION: PENETRATIONS BY DUCTS AND AIR TRANSFER OPENINGS OF FIRE WALLS THAT ARE NOT ON A LOT LINE SHALL BE ALLOWED PROVIDED THAT THE PENETRATIONS COMPLY WITH SECTION 717. THE SIZE AND AGGREGATE WIDTH OF ALL OPENINGS SHALL NOT EXCEED THE LIMITATIONS OF SECTION 706.8..

SECTION 707

707.1 GENERAL

FIRE BARRIERS INSTALLED AS REQUIRED ELSEWHERE IN THIS CODE OR THE INTERNATIONAL FIRE CODE SHALL COMPLY WITH THIS SECTION

707.2 MATERIALS

FIRE BARRIERS SHALL BE OF MATERIALS PERMITTED BY THE BUILDING TYPE OF CONSTRUCTION.

THE FIRE-RESISTANCE RATING OF FIRE BARRIERS SHALL COMPLY WITH THIS SECTION.

707.3.1 SHAFT ENCLOSURES.

FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM A SHAFTSHALL COMPLY

707.3.2 INTERIOR EXIT STAIRWAY AND RAMP CONSTRUCTION. THE FIRE—RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN INTERIOR EXIT STAIRWAY OR RAMP SHALL COMPLY WITH SECTION 1023.1.

707.3.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT ACCESS STAIRWAY OR RAMP SHALL COMPLY WITH SECTION 713.4

707.3.4 EXIT PASSAGEWAY THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT PASSAGEWAY SHALL COMPLY WITH SECTION 1024.3.

707.3.5 HORIZONTAL EXIT

THE FIRE-RESISTANCE RATING OF THE SEPARATION BETWEEN BUILDING AREAS CONNECTED BY A HORIZONTAL EXIT SHALL

COMPLY WITH SECTION 1026.1.

THE FIRE—RESISTANCE RATING OF THE FIRE BARRIER SEPARATING ATRIUMSSHALL COMPLY WITH SECTION 404.6.

707.3 ZINCIDENTAL LISES

THE FIRE BARRIER SEPARATING INCIDENTAL USES FROM OTHER SPACES IN THE BUILDING SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 509.1.

707.3.8 CONTROL AREAS.

IN SECTION 414.2.4.

WHERE THE PROVISIONS OF SECTION 508.4 ARE APPLICABLE, THE FIRE BARRIER SEPARATING MIXED OCCUPANCIES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED

STRUCTURAL MEMBERS, WITH NONCOMBUSTIBLE MATERIALS COMBINATIONS THEREOF SEPARATING A SINGLE OCCUPANCY RATING OF NOT LESS THAN THAT INDICATED IN TABLE 707.3.10. THE FIRE BARRIERS, FIRE WALLS,HORIZONTAL ASSEMBLIES OR COMBINATIONS THEREOF SEPARATING FIRE AREAS OF MIXED OCCUPANCIES SHALL HAVE UNDER CONSIDERATION.

707.4 EXTERIOR WALLS.

WHERE EXTERIOR WALLSSERVE AS A PART OF A REQUIRED FIRE—RESISTANCE—RATED SHAFT, OR SEPARATION OR ENCLOSURE FOR A STAIRWAY, RAMP OR EXIT PASSAGEWAY SUCH WALLS SHALL COMPLY WITH THE REQUIREMENTS OF SUCH WALLS SHALL COMPET WITH THE REGULARIZATION TO SECTION 705 FOR EXTERIOR WALLS AND THE FIRE—RESISTANCE—RATED ENCLOSURE OR SEPARATION REQUIREMENTS SHALL NOT APPLY.

BALCONIES, SECTION 1023.7 FOR INTERIOR EXIT STAIRWAYS AND RAMPS, SECTION 1024.8 FOREXIT PASSAGEWAYS SECTION 1027.6 FOR EXTERIOR EXIT STAIRWAYS AND RAMPS.

2.EXTERIOR WALLS REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION 1207 OF THE INTERNATIONAL FIRE CODE FOR ENCLOSURE OF ENERGY STORAGE SYSTEMS.

707.5 CONTINUITY.

FIRE BARRIERS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE AND SHALL BE SECURELY ATTACHED THERETO. FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACE, SUCH AS THE SPACE ABOVE A SUSPENDED CEILING. JOINTS AND VOIDS AT INTERSECTIONS SHALL COMPLY WITH SECTIONS 707.8 AND 707.9

A TOP ENCLOSURE COMPLYING WITH SECTION 713.12.

2 INTERIOR EXIT STAIRWAY AND RAMP ENCLOSURES REQUIRED SECTION 713.12

THE TOP WITH CONSTRUCTION OF THE FIRE-RESISTANCE RATINGAS REQUIRED FOR PASSAGEWAY.

BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE FIRE BARRIER SUPPORTED, HOLLOW VERTICAL SPACES WITHIN A FIRE BARRIER SHALL BE FIREBLOCKED IN ACCORDANCE WITH SECTION 718.2 AT EVERY FLOOR LEVEL.

EXCEPTIONS:

1.THE MAXIMUM REQUIRED FIRE—RESISTANCE RATING FOR ASSEMBLIES SUPPORTING FIRE BARRIERS SEPARATING TANK STORAGE AS PROVIDED FOR IN SECTION 415.9.1.2 SHALL BE 2 HOURS, BUT NOT LESS THAN REQUIRED BY TABLE 601 FOR THE BUILDING CONSTRUCTION TYPE.

SECTIONS OF THIS CODE.

707.6 OPENINGS.

OPENINGS IN A FIRE BARRIER SHALL BE PROTECTED IN 8.VFSTIBULES IN ACCORDANCE WITH SECTION 1028.2-

707.3.6 ATRIUMS.

SINGLE OPENING SHALL NOT EXCEED 156 SQUARE FEET (15 M2). OPENINGS IN ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT

1023.4 AND 1024.5, RESPECTIVELY.

ACCORDANCE WITH SECTION 903.3.1.1.

1.OPENINGS SHALL NOT BE LIMITED TO 156 SQUARE FEET (15

HROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN

2.OPENINGS SHALL NOT BE LIMITED TO 156 SQUARE FEET (15

M2) OR AN AGGREGATE WIDTH OF 25 PERCENT OF THE

LENGTH OF THE WALL WHERE THE OPENING PROTECTIVE IS A

STAIRWAYSAND RAMPS, ANDINTERIOR FXIT STAIRWAYSAND

3 OPENINGS SHALL NOT BE LIMITED TO 156 SQUARE FEET (15

M2) OR AN AGGREGATE WIDTH OF 25 PERCENT OF THE

ENGTH OF THE WALL WHERE THE OPENING PROTECTIVE HAS

BEEN TESTED IN ACCORDANCE WITH ASTM F119 OR UL 263

AND HAS A MINIMUM FIRE-RESISTANCE RATING NOT LESS

4.FIRE WINDOW ASSEMBLIES PERMITTED IN ATRIUM SEPARATION

WALLS SHALL NOT BE LIMITED TO A MAXIMUM AGGREGATE

5.0PENINGS SHALL NOT BE LIMITED TO 156 SQUARE FEET (15

FIRE DOOR ASSEMBLY IN A FIRE BARRIER SEPARATING AN

ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS, AND

INTERIOR FXIT STAIRWAY SAND RAMPS FROM AN FXIT

PENETRATIONS OF FIRE BARRIERS SHALL COMPLY WITH

PENETRATIONS INTO ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, INTERIOR EXIT STAIRWAYS AND

RAMPS, AND EXIT PASSAGEWAYS SHALL BE ALLOWED ONLY

WHERE PERMITTED BY SECTIONS 1019, 1023.5 AND 1024.6,

JOINTSMADE IN OR BETWEEN FIRE BARRIERS, ANDJOINTSMADE

AT THE INTERSECTION OF FIRE BARRIERS WITH UNDERSIDE OF

A FIRE-RESISTANCE-RATED FLOOR OR ROOF SHEATHING, SLAB

OR DECK ABOVE. AND THE EXTERIOR VERTICAL WALL

THE VOIDS CREATED AT THE INTERSECTION OF A FIRE BARRIER AND A NONFIRE—RESISTANCE—RATED ROOF ASSEMBLY OR A

NONFIRE-RESISTANCE-RATED EXTERIOR WALL ASSEMBLY SHALL BE FILLED. AN APPROVED MATERIAL OR SYSTEM SHALL

BE USED TO FILL THE VOID, AND SHALL BE SECURELY INSTALLED IN OR ON THE INTERSECTION FOR ITS ENTIRE

ENGTH SO AS NOT TO DISLODGE, LOOSEN OR OTHERWISE

IMPAIR ITS ABILITY TO ACCOMMODATE EXPECTED BUILDING

MOVEMENTS AND TO RETARD THE PASSAGE OF FIRE AND HO

PENETRATIONS IN A FIRE BARRIER BY DUCTS AND AIR

SECTION 708

THE FOLLOWING WALL ASSEMBLIES SHALL COMPLY WITH THIS

LSEPARATION WALLS AS REQUIRED BY SECTION 420.2 FOR

WALLS SEPARATING TENANT SPACES IN COVERED AND OPEN

4.ENCLOSED ELEVATOR LOBBY SEPARATION AS REQUIRED BY

S.WALLS SEPARATING AMBULATORY CARE FACILITIESFROM

ADJACENT SPACES, CORRIDORS OR TENANT AS REQUIRED BY

7.WALLS SEPARATING DWELLING AND SLEEPING UNITS IN

GROUPS R-1 AND R-2 IN ACCORDANCE WITH SECTIONS

MALL BUILDINGS AS REQUIRED BY SECTION 402.4.2.1.

3.CORRIDORWALLS AS REQUIRED BY SECTION 1020.3.

5.EGRESS BALCONIES AS REQUIRED BY SECTION 1021.2

TRANSFER OPENINGS SHALL COMPLY WITH SECTION 7174

NTERSECTION SHALL COMPLY WITH SECTION 715.

707.10 DUCTS AND AIR TRANSFER OPENINGS.

GROUP I-1 AND GROUP R OCCUPANCIES.

M2) OR AN AGGREGATE WIDTH OF 25 PERCENT OF LENGTH OF THE WALL WHERE THE OPENING PROTECTIVE IS A

THAN THE FIRE-RESISTANCE RATING OF THE WALL.

WIDTH OF 25 PERCENT OF THE LENGTH OF THE WALL.

PASSAGEWAY IN ACCORDANCE WITH SECTION 1023.3.1.

SERVING ENCLOSURES FOREXIT

M2) WHERE ADJOINING FLOOR AREAS ARE FOUIPPED

EXCEPTIONS

DOOR

707.7 PENETRATIONS.

707.7.1 PROHIBITED PENETRATIONS.

SECTION 714.

707.8 JOINTS.

GASES.

708.1 GENERAL.

SECTION 3006.3.

SECTION 422.2.

907.2.8.1 AND 907.2.9.1.

SECTION:

RAMPS

FIRE BARRIERS SEPARATING CONTROL AREAS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED

707.3.9 SEPARATED OCCUPANCIES.

707.3.10 FIRE AREAS

THE FIRE BARRIERS, FIRE WALLS, HORIZONTAL ASSEMBLIES OR INTO DIFFERENT FIRE AREAS SHALL HAVE A FIRE—RESISTANCE FIRE—RESISTANCE RATING OF NOT LESS THAN THE HIGHEST VALUE INDICATED IN TABLE 707.3,10 FOR THE OCCUPANCIES

EXCEPTIONS:

1.EXTERIOR WALLSREQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION 1021 FOR EXTERIOR EGRESS

EXCEPTIONS:

1.SHAFT ENCLOSURESSHALL BE PERMITTED TO TERMINATE AT

BY SECTION 1023 AND EXIT ACCESS STAIRWAY AND RAM ENCLOSURES REQUIRED BY SECTION 1019 SHALL BE PERMITTED TO TERMINATE AT A TOP ENCLOSURE COMPLYING WITH

3.AN EXIT PASSAGEWAYENCLOSURE REQUIRED BY SECTION 1024.3 THAT DOES NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING, SLAB OR DECK ABOVE SHALL BE ENCLOSED SAME THE EXIT

707.5.1SUPPORTING CONSTRUCTION

THE SUPPORTING CONSTRUCTION FOR A FIRE BARRIER SHALL

2.SUPPORTING CONSTRUCTION FOR 1-HOUR FIRE BARRIERS REQUIRED BY TABLE 509.1 IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED UNLESS REQUIRED BY OTHER

ACCORDANCE WITH SECTION 716, OPENINGS SHALL BE LIMITED TO A MAXIMUM AGGREGATE WIDTH OF 25 PERCENT OF THE 708.2 MATERIALS LENGTH OF THE WALL, AND THE MAXIMUM AREA OF ANY

WALLS SHALL BE OF MATERIALS PERMITTED BY THE BUILDING TYPE OF CONSTRUCTION 708.3FIRE-RESISTANCE RATING.

FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF PASSAGEWAYS SHALL ALSO COMPLY WITH SECTIONS 1019, NOT LESS THAN 1 HOUR.

1.CORRIDOR WALLS PERMITTED TO HAVE A 1/2-HOUR FIRE-RESISTANCE RATING BY TABLE 1020.2.

2.DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

708 4 CONTINUITY

FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW AND BE SECURELY ATTACHED TO ONE OF THE FOLLOWING:

1.THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE.

2 THE LINDERSIDE OF A FLOOR/CELLING OR ROOF/CELLING ASSEMBLY HAVING A FIRE-RESISTANCE RATING THAT IS NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE PARTITION

EXCEPTIONS:

1.FIRE PARTITIONS SHALL NOT BE REQUIRED TO EXTEND INTO A CRAWL SPACE BELOW WHERE THE FLOOR ABOVE THE CRAWL SPACE HAS A MINIMUM 1-HOUR FIRE-RESISTANCE RATING.

2.FIRE PARTITIONS SERVING AS A CORRIDOR WALL SHALL NOT BE REQUIRED TO EXTEND ABOVE THE LOWER MEMBRANE OF A CORRIDOR CEILING PROVIDED THAT THE CORRIDOR CEILING
MEMBRANE IS EQUIVALENT TO CORRIDOR WALL MEMBRANE, AND EITHER OF THE FOLLOWING CONDITIONS IS MET:

2.1.THE ROOM-SIDE MEMBRANE OF THE CORRIDOR WALL EXTENDS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB OF A FIRE-RESISTANCE-RATED FLOOR OR ROOF ABOVE.

2.2.THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, INCLUDING AUTOMATIC SPRINKLERS INSTALLED IN THE SPACE BETWEEN THE TOP OF THE FIRE PARTITION AND UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE.

3.FIRE PARTITIONS SERVING AS A CORRIDOR WALL SHALL BE PERMITTED TO TERMINATE AT THE UPPER MEMBRANE OF THE CORRIDOR CEILING ASSEMBLY WHERE THE CORRIDOR CEILING IS CONSTRUCTED AS REQUIRED FOR THE CORRIDOR WALLS

A FIRE PARTITIONS SEPARATING TENANT SPACES IN A COVERED OR OPEN MALL BUILDINGCOMPLYING WITH SECTION 402.4.2,1 SHALL NOT BE REQUIRED TO EXTEND ABOVE THE UNDERSIDE OF A CEILING SUCH CEILING SHALL NOT BE REQUIRED TO BE PART OF A FIRE-RESISTANCE-RATED ASSEMBLY, AND THE ATTICOR SPACE ABOVE THE CEILING AT TENANT SEPARATION WALLS SHALL NOT BE REQUIRED TO BE SUBDIVIDED BY FIRE PARTITIONS.

708.4.1 SUPPORTING CONSTRUCTION

THE SUPPORTING CONSTRUCTION FOR A FIRE PARTITION SHALL HAVE A FIRE-RESISTANCE RATING THAT IS EQUAL TO OR GREATER THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE SUPPORTED FIRE PARTITION.

EXCEPTION: IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION. THE SUPPORTING CONSTRUCTION REQUIREMENT SHALL NOT APPLY TO FIRE PARTITIONS SEPARATING TENANT SPACES IN COVERED AND OPEN MALL BUILDINGS, FIRE PARTITIONS SEPARATING DWELLING UNITS, FIRE PARTITIONS SEPARATING SLEEPING UNITS, FIRE PARTITIONS SERVING AS CORRIDOR WALLS, FIRE PARTITIONSSEPARATING AMBULATORY CARE FACILITIES FROM ADJACENT SPACES OR CORRIDORS, FIRE PARTITIONSSEPARATING DWELLING AND SLEEPING UNITS FROM GROUP R-1 AND R-2 OCCUPANCIES AND FIRE PARTITIONSSEPARATING VESTIBULES FROM THE LEVEL OF EXIT DISCHARGE

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ROJECT NAME 50 ROCK LLC 50 NORTH PARK AVE ROCKVILLE CENTRE, NY 11570

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SHEET TITLE: FIRE AND SMOKE PROTECTION

EXCEPTIONS:

1.BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN ACCORDANCE WITH SECTION 903.3,1.1, OR IN ACCORDANCE WITH SECTION 903.3.1.2 PROVIDED THAT PROTECTION IS PROVIDED IN THE SPACE BETWEEN THE TOP OF THE FIRE PARTITION AND UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE AS REQUIRED FOR SYSTEMS COMPLYING WITH SECTION 903.3.1.1.

2.WHERE CORRIDOR WALLS PROVIDE A SLEEPING UNIT OR DWELLING LINIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.

3.IN GROUP R-2 OCCUPANCIES WITH FEWER THAN FOUR DWELLING UNITS, FIREBLOCKING AND DRAFTSTOPPING SHALL NOT BE REQUIRED.

4.IN GROUP R-2 OCCUPANCIES UP TO AND INCLUDING FOUR STORIES IN HEIGHT IN BUILDINGS NOT EXCEEDING 60 FEET (18 288 MM) IN HEIGHT ABOVE GRADE PLANE, THEATTICSPACE SHALL BE SUBDIVIDED BY DRAFTSTOPS INTO AREAS NOT EXCEEDING 3.000 SQUARE FEET (279 M2) OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER

5.IN GROUP R-3 OCCUPANCIES WITH FEWER THAN THREE DWELLING UNITS, FIREBLOCKING AND DRAFTSTOPPING SHALL NOT BE REQUIRED IN FLOOR ASSEMBLIES.

708.5 EXTERIOR WALLS.

WHERE EXTERIOR WALLS SERVE AS A PART OF A REQUIRED FIRE-RESISTANCE-RATED SEPARATION, SUCH WALLS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 705 EXTERIOR WALLS. AND FIRE-RESISTANCE-RATED SEPARATION REQUIREMENTS SHALL NOT APPLY

REQUIRED EXCEPTION: EXTERIOR WALLS FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION 1021.2 FOR EXTERIOR EGRESS BALCONIES, SECTION 1023.7 FOR INTERIOR EXIT STAIRWAYSAND RAMPS AND SECTION 1027.6 FOR EXTERIOR EXIT STAIRWAYS AND RAMPS.

708.6 OPENINGS.

OPENINGS IN A FIRE PARTITION SHALL BE PROTECTED ACCORDANCE WITH SECTION 716.

708.7 PENETRATIONS.

PENETRATIONS OF FIRE PARTITIONS SHALL COMPLY WITH

708.8 JOINTS.

JOINTS MADE IN OR BETWEEN FIRE PARTITIONS SHALL COMPLY WITH SECTION 715.

708 9 DUCTS AND AIR TRANSFER OPENINGS:

PENETRATIONS IN A FIRE PARTITION BY DUCTS AND AIR TRANSFER OPENINGS SHALL COMPLY WITH SECTION 717.

SECTION714

PENETRATIONS

714.1 SCOPE.

THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS AND METHODS OF CONSTRUCTION USED TO PROTECT THROUGH PENETRATION SAND MEMBRANE PENETRATIONSOF HORIZONTAL ASSEMBLIES AND FIRE-RESISTANCE-RATED WALL ASSEMBLIES.

714.1.1 DUCTS AND AIR TRANSFER OPENINGS. PENETRATIONS OF FIRE-RESISTANCE-RATED WALLS BY DUCTS THAT ARE NOT PROTECTED WITH DAMPERS SHALL COMPLY WITH SECTIONS 714.3 THROUGH 714.4.3 PENETRATIONS OF HORIZONTAL ASSEMBLIES NOT PROTECTED WITH A SHAFTAS PERMITTED BY SECTION 717.6. AND NOT REQUIRED TO BE PROTECTED WITH FIRE DAMPERS BY OTHER SECTIONS OF THIS CODE. SHALL COMPLY WITH SECTIONS 714.5 THROUGH 714.6.2. DUCTS AND AIR TRANSFER OPENINGS THAT ARE PROTECTED WITH DAMPERS SHALL COMPLY WITH SECTION 717.

714.2 INSTALLATION

A LISTED PENETRATION FIRESTOP SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE LISTING CRITERIA.

714.3 INSTALLATION DETAILS.

WHERE SLEEVES ARE USED, THEY SHALL BE SECURELY FASTENED TO THE ASSEMBLY PENETRATED. THE SPACE BETWEEN THE ITEM CONTAINED IN THE SLEEVE AND THI SLEEVE ITSELF AND ANY SPACE BETWEEN THE SLEEVE AND THE ASSEMBLY PENETRATED SHALL BE PROTECTED IN ACCORDANCE WITH THIS SECTION. INSULATION AND COVERINGS ON OR IN THE PENETRATING ITEM SHALL NOT PENETRATE THE ASSEMBLY UNLESS THE SPECIFIC MATERIAL USED HAS BEEN TESTED AS PART OF THE ASSEMBLY IN ACCORDANCE WITH

714.4 FIRE-RESISTANCE-RATED WALLS.

PENETRATIONS INTO OR THROUGH FIRE WALLS, FIRE BARRIERS SMOKE BARRIER WALLS AND FIRE PARTITIONS SHALL COMPLY WITH SECTIONS 714.4.1 THROUGH 714.4.3. PENETRATIONS IN SMOKE BARRIER WALLS SHALL ALSO COMPLY WITH SECTION

714.4.1THROUGH PENETRATIONS.

THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALLS

SHALL COMPLY WITH SECTION 714.4.1.1 OR 714.4.1.2.

EXCEPTION: WHERE THE PENETRATING ITEMS ARE STEEL. FERROUS OR COPPER PIPES, TUBES OR CONDUITS, THE ANNULAR SPACE BETWEEN THE PENETRATING ITEM AND THE FIRE-RESISTANCE-RATED WALL IS PERMITTED TO BE PROTECTED BY EITHER OF THE FOLLOWING MEASURES:

1.IN CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAXIMUM 6-INCH (152 MM) NOMINAL DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES (0.0929 M2). CONCRETE, GROUT OR MORTAR IS PERMITTED WHERE INSTALLED THE FULL THICKNESS OF THE WALL OR THE THICKNESS REQUIRED TO MAINTAIN THE FIRE-RESISTANCE RATING.

2. THE MATERIAL USED TO FILL THE ANNULAR SPACE SHALL PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHEN SUBJECTED TO ASTM E119 OR UL 263 TIME-TEMPERATURE FIRE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFFRENTIAL OF 0.01 INCH (2.49 PA) OF WATER AT THE LOCATION OF THE PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.

714.4.1.1 FIRE-RESISTANCE-RATED ASSEMBLIES. THROUGH PENETRATIONS SHALL BE PROTECTED USING SYSTEMS INSTALLED AS TESTED IN THE APPROVED FIRE-RESISTANCE-RATED ASSEMBLY.

714 4 1.2 THROUGH-PENETRATION FIRESTOP SYSTEM. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 PA) OF WATER AND SHALL HAVE AN F RATINGOF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL

714.4.2 MEMBRANE PENETRATIONS. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION 714.4.1. WHERE WALLS OR PARTITIONS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL

NOT BE REDUCED. EXCEPTIONS:

1.MEMBRANE PENETRATIONS OF MAXIMUM 2-HOUR FIRE-RESISTANCE-RATED WALLS AND PARTITIONS BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES (0.0 103 M2) IN AREA, PROVIDED THAT THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT FXCFFD 100 SQUARE INCHES (0.0645 M2) IN ANY 100 SQUARE FEET (9.29 M2) OF WALL AREA. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT FXCFFD 1/8 INCH (3.2 MM), SUCH BOXES ON OPPOSITE SIDES OF THE WALL OR PARTITION SHALL BE SEPARATED BY ONE OF

1.1.BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES (610 MM) WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD

1.2.BY A HORIZONTAL DISTANCE OF NOT LESS THAN THE DEPTH OF THE WALL CAVITY WHERE THE WALL CAVITY IS FILLED WITH CELLULOSE LOOSE-FILL, ROCKWOOL OR SLAG MINERAL WOOL INSULATION

1.3.BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION 718.21

1.4.BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.

1.5.BY OTHER LISTED MATERIALS AND METHODS.

2.MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIAL, PROVIDED THAT SUCH BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.2 MM) UNLESS LISTED OTHERWISE. SUCH BOXES ON OPPOSITE SIDES OF THE WALL OR PARTITION SHALL BE SEPARATED BY ONE OF THE FOLLOWING:

2.1 BY THE HORIZONTAL DISTANCE SPECIFIED IN THE LISTING

2.2.BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION

2.3.BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.

2.4.BY OTHER LISTED MATERIALS AND METHODS.

3.MEMBRANE PENETRATIONS BY ELECTRICAL BOXES OF ANY SIZE OR TYPE, THAT HAVE BEEN LISTED AS PART OF A WALL OPENING PROTECTIVE MATERIAL SYSTEM FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING.

4 MEMBRANE PENETRATIONS BY BOXES OTHER THAN

ELECTRICAL BOXES, PROVIDED THAT SUCH PENETRATING ITEMS AND THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX, ARE PROTECTED BY AN APPROVED MEMBRANE PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 PA) OF WATER, AND SHALL HAVE AN F AND T RATING OF NOT LÉSS THAN THE REQUIRED FIRE—RESISTANCE RATING OF THE WALL PENETRATED AND BE INSTALLED IN ACCORDANCE WITH THEIR

5 THE ANNULAR SPACE CREATED BY THE PENETRATION OF AN AUTOMATIC SPRINKLER, PROVIDED THAT IT IS COVERED BY A METAL ESCUTCHEON PLATE.

6.MEMBRANE PENETRATIONS OF MAXIMUM 2-HOUR FIRE-RESISTANCE-RATED WALLS AND PARTITIONS BY STEEL ELECTRICAL BOXES THAT EXCEED 16 SQUARE INCHES (0.0 103 M2) IN AREA, OR STEEL ELECTRICAL BOXES OF ANY SIZE HAVING AN AGGREGATE AREA THROUGH THE MEMBRANE EXCEEDING 100 SQUARE INCHES (0.0645 M2) IN ANY 100 SQUARE FEET (9.29 M2) OF WALL AREA, PROVIDED THAT SUCH PENETRATING ITEMS ARE PROTECTED BY LISTED PUTTY PADS OR OTHER LISTED MATERIALS AND METHODS, AND INSTALLED IN ACCORDANCE WITH THE LISTING.

NONCOMBUSTIBLE PENETRATING ITEMS SHALL NOT CONNECT TO COMBUSTIBLE ITEMS BEYOND THE POINT OF FIRESTOPPING UNLESS IT CAN BE DEMONSTRATED THAT THE FIRE-RESISTANCE INTEGRITY OF THE WALL IS MAINTAINED.

714.5 HORIZONTAL ASSEMBLIES. PENETRATIONS OF A FIRE-RESISTANCE-RATED FLOOR, FLOOR/CEILING ASSEMBLY OR THE CEILING MEMBRANE OF A ROOF/CEILING ASSEMBLY NOT REQUIRED TO BE ENCLOSED IN A SHAFTBY SECTION 712.1 SHALL BE PROTECTED IN ACCORDANCE WITH SECTIONS 714.5.1 THROUGH 714.5.4.

714.5.1THROUGH PENETRATIONS. THROUGH PENETRATIONS OF HORIZONTAL ASSEMBLIES SHALL COMPLY WITH SECTION 714.5.1.1 OR 714.5.1.2.

1.PENETRATIONS BY STEEL, FERROUS OR COPPER CONDUITS, PIPES, TUBES OR VENTS OR CONCRETE OR MASONRY ITEMS THROUGH A SINGLE FIRE-RESISTANCE-RATED FLOOR ASSEMBLY WHERE THE ANNULAR SPACE IS PROTECTED WITH MATERIALS THAT PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHEN SUBJECTED TO ASTM F119 OR UL 263 TIME-TEMPERATURE FIRE CONDITIONS UNDER A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 PA) OF WATER AT THE OCATION OF THE PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED, PENETRATING ITEMS WITH A MAXIMUM 6-INCH (152 MM) NOMINAL DIAMETER SHALL NOT BE LIMITED TO THE PENETRATION OF A SINGLE FIRE-RESISTANCE-RATED FLOOR ASSEMBLY, PROVIDED THAT THE AGGREGATE AREA OF THE OPENINGS THROUGH THE ASSEMBLY DOES NOT EXCEED 144 SQUARE INCHES (92 900 MM2) IN ANY 100 SQUARE FEET (9.3 M2) OF FLOOR AREA.

2, PENETRATIONS IN A SINGLE CONCRETE FLOOR BY STEEL FERROUS OR COPPER CONDUITS, PIPES, TUBES OR VENTS WITH A MAXIMUM 6-INCH (152 MM) NOMINAL DIAMETER, PROVIDED THAT THE CONCRETE, GROUT OR MORTAR IS INSTALLED THE FULL THICKNESS OF THE FLOOR OR THE THICKNESS REQUIRED TO MAINTAIN THE FIRE-RESISTANCE RATING. THE PENETRATING ITEMS SHALL NOT BE LIMITED TO THE PENETRATION OF A SINGLE CONCRETE FLOOR, PROVIDED THAT THE AREA OF THE OPENING THROUGH EACH FLOOR DOES NOT EXCEED 144 SQUARE INCHES (92 900 MM2).

3 PENETRATIONS BY LISTED FLECTRICAL BOXES OF ANY MATERIAL, PROVIDED THAT SUCH BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED

14.5.1.1FIRE-RESISTANCE-RATED ASSEMBLIES. THROUGH PENETRATIONS SHALL BE PROTECTED USING SYSTEMS INSTALLED AS TESTED IN THE APPROVED FIRE-RESISTANCE-RATED ASSEMBLY.

714.5.1.2 THROUGH-PENETRATION FIRE STOP SYSTEM. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER (2.49 PA), THE SYSTEM SHALL HAVE AN F RATING/T RATING OF NOT LESS THAN 1 HOUR BUT NOT LESS THAN THE REQUIRED RATING OF THE FLOOR PENETRATED.

EXCEPTIONS:

1.FLOOR PENETRATIONS CONTAINED AND LOCATED WITHIN THE CAVITY OF A WALL ABOVE THE FLOOR OR BELOW THE FLOOR

2.FLOOR PENETRATIONS BY FLOOR DRAINS, TUB DRAINS OR SHOWER DRAINS CONTAINED AND LOCATED WITHIN THE

CONCEALED SPACE OF A HORIZONTAL ASSEMBLY DO NOT REQUIRE A T RATING.

3 FLOOR PENETRATIONS OF MAXIMUM 4-INCH (102 MM) NOMINAL DIAMETER METAL CONDUIT OR TUBING PENETRATING DIRECTLY INTO METAL-ENCLOSED ELECTRICAL POWER SWITCHGEAR DO NOT REQUIRE A T RATING.

714.5.2 MEMBRANE PENETRATIONS PENETRATIONS OF MEMBRANES THAT ARE PART OF A HORIZONTAL ASSEMBLY SHALL COMPLY WITH SECTION 714.5.1.1 OR 714.5.1.2. WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.

EXCEPTIONS:

I.MEMBRANE PENETRATIONS BY STEEL, FERROUS OR COPPER CONDUITS, PIPES, TUBES OR VENTS, OR CONCRETE OR MASONRY ITEMS WHERE THE ANNULAR SPACE IS PROTECTED EITHER IN ACCORDANCE WITH SECTION 714.5.1 OR TO PREVENT THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE SHALL NOT EXCEED 100 SQUARE INCHES (64 500 MM2) IN ANY 100 SQUARE FEET (9.3 M2) OF CEILING AREA IN ASSEMBLIES TESTED WITHOUT PENETRATIONS.

2.CEILING MEMBRANE PENETRATIONS OF MAXIMUM 2-HOUR HORIZONTAL ASSEMBLIES BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES (10 323 MM2) IN AREA. PROVIDED THAT THE AGGREGATE AREA OF SUCH PENETRATIONS DOES NOT EXCEED 100 SQUARE INCHES (44 500 MM2) IN ANY 100 SQUARE FEET (9.29 M2) OF CEILING AREA, AND THE ANNULAR SPACE BETWEEN THE CEILING MEMBRANE AND THE BOX DOES NOT EXCEED 1/8 INCH (3.2

3.MEMBRANE PENETRATIONS BY ELECTRICAL BOXES OF ANY SIZE OR TYPE, THAT HAVE BEEN LISTED AS PART OF AN OPENING PROTECTIVE MATERIAL SYSTEM FOR USE IN HORIZONTAL ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING.

4.MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIAL, PROVIDED THAT SUCH BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS NCLUDED IN THE LISTING. THE ANNULAR SPACE BETWEEN THE CEILING MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.2 MM) UNLESS LISTED OTHERWISE

5,THE ANNULAR SPACE CREATED BY THE PENETRATION OF A FIRE SPRINKLER, PROVIDED THAT IT IS COVERED BY A METAL ESCUTCHEON PLATE.

6.NONCOMBUSTIBLE ITEMS THAT ARE CAST INTO CONCRETE BUILDING ELEMENTS AND THAT DO NOT PENETRATE BOTH TOP AND BOTTOM SURFACES OF THE ELEMENT.

7.THE CEILING MEMBRANE OF A MAXIMUM 2-HOUR FIRE-RESISTANCE-RATED HORIZONTAL ASSEMBLYIS PERMITTED TO BE INTERRUPTED WITH THE DOUBLE WOOD TOP PLATE OF A WALL ASSEMBLY THAT IS SHEATHED WITH TYPE X GYPSUM WALLBOARD, PROVIDED THAT ALL PENETRATING ITEMS THROUGH THE DOUBLE TOP PLATES ARE PROTECTED IN ACCORDANCE WITH SECTION 714.5.1.1 OR 714.5.1.2 AND THE CEILING MEMBRANE IS TIGHT TO THE TOP PLATES.

B.CEILING MEMBRANE PENETRATIONS BY LISTED LUMINAIRES LIGHT FIXTURES) OR BY LUMINAIRES PROTECTED WITH LISTED MATERIALS WHICH HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE

714.5.3 DISSIMILAR MATERIALS. NONCOMBUSTIBLE PENETRATING ITEMS SHALL NOT CONNECT TO COMBUSTIBLE MATERIALS BEYOND THE POINT OF FIRESTOPPING JNLESS IT CAN BE DEMONSTRATED THAT THE FIRE-RESISTANCE INTEGRITY OF THE HORIZONTAL ASSEMBLY IS

714.5.4 PENETRATIONS IN SMOKE BARRIERS. PENETRATIONS IN SMOKE BARRIERS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM NSTALLED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF UL 1479 FOR AIR LEAKAGE. THE L RATING OF THE SYSTEM MEASURED AT 0.30 INCH (7.47 PA) OF WATER IN BOTH THE AMBIENT TEMPERATURE AND ELEVATED TEMPERATURE TESTS SHALL NOT EXCEED EITHER OF THE

1.5.0 CFM PER SQUARE FOOT (0.025 M3/ S × M2) OF PENETRATION OPENING FOR EACH THROUGH-PENETRATION

2.A TOTAL CUMULATIVE LEAKAGE OF 50 CFM (0.024 M3/S) FOR ANY 100 SQUARE FEET (9.3 M2) OF WALL AREA, OR FLOOR AREA.

CHAPTER 10

MEANS OF EGRESS

SECTION 1008 ILL UMINATION

MEANS OF EGRESS

1008.1 MEANS OF EGRESS ILLUMINATION. ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008 2 LINDER EMERGENCY POWER, MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH

1008.2 ILLUMINATION REQUIRED. THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.

EXCEPTIONS:

.OCCUPANCIES IN GROUP U.

2. AISLE ACCESSWAYS IN GROUP A.

3.DWELLING UNITS AND SLEEPING UNITS IN GROUPS R-1, R-2

4.SLEEPING UNITS OF GROUP I OCCUPANCIES.

1008.2.1 ILLUMINATION LEVEL UNDER NORMAL POWER. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE. ALONG EXIT ACCESS STAIRWAYS, EXIT STAIRWAYS AND AT THEIR REQUIRED LANDINGS. THE ILLUMINATION LEVEL SHALL NOT BE LESS THAN 10 FOOTCANDLES (108 LUX) AT THE WALKING SURFACE WHEN THE STAIRWAY IS IN USE.

EXCEPTION: FOR AUDITORIUMS, THEATERS, CONCERT OR OPERA HALLS AND SIMILAR ASSEMBLY OCCUPANCIES. THE ILLUMINATION AT THE WALKING SURFACE IS PERMITTED TO BE REDUCED DURING PERFORMANCES BY ONE OF THE FOLLOWING METHODS PROVIDED THAT THE REQUIRED ILLUMINATION IS AUTOMATICALLY RESTORED UPON ACTIVATION OF A PREMISES' FIRE ALARM SYSTEM:

1.FXTFRNALLY ILLUMINATED WALKING SURFACES SHALL BE PERMITTED TO BE ILLUMINATED TO NOT LESS THAN 0.2 FOOTCANDLE (2.15 LUX).

STEPS, LANDINGS AND THE SIDES OF RAMPS SHALL BE PERMITTED TO BE MARKED WITH SELE-LUMINOUS MATERIALS N ACCORDANCE WITH SECTIONS 1025,2.1, 1025,2.2 AND 1025.2.4 BY SYSTEMS LISTED IN ACCORDANCE WITH UL 1994.

1008.2.2 GROUP I-2.

N GROUP 1-2 OCCUPANCIES WHERE TWO OR MORE EXITS ARE REQUIRED, ON THE EXTERIOR LANDINGS REQUIRED BY SECTION 1010.1.5, MEANS OF EGRESS ILLUMINATION LEVELS FOR THE EXIT DISCHARGE SHALL BE PROVIDED SUCH THAT FAILURE OF SINGLE LAMP IN A LUMINAIRE SHALL NOT REDUCE THE LLUMINATION LEVEL ON THAT LANDING TO LESS THAN 1 FOOTCANDLE (11 LUX).

ILLUMINATION SHALL BE PROVIDED ALONG THE PATH OF TRAVEL FOR THE EXIT DISCHARGE FROM EACH EXIT TO THE PUBLIC WAY.

EXCEPTION: ILLUMINATION SHALL NOT BE REQUIRED WHERE THE PATH OF THE EXIT DISCHARGE MEETS BOTH OF THE

THE PATH OF EXIT DISCHARGE IS ILLUMINATED FROM THE EXIT TO A SAFE DISPERSAL AREA COMPLYING WITH SECTION 1028.5.

2.A DISPERSAL AREA SHALL BE ILLUMINATED TO A LEVEL NOT LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE.

DOS 3 EMERGENCY POWER FOR ILLUMINATION. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY.

LOOR 3.1 GENERAL

N THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE EXITS OR ACCESS TO EXITS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:

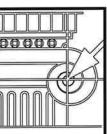
1.AISLES.

2.CORRIDORS.

3.EXIT ACCESS STAIRWAYS AND RAMPS.

1008.3.2. BUILDINGS

IN THE EVENT OF POWER SUPPLY FAILURE IN BUILDINGS THAT REQUIRE TWO OR MORE EXITS OR ACCESS TO EXITS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:



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SEET THE FIRE AND SMOKE PROTECTION MEANS OF EGRESS NOTES

1.INTERIOR EXIT ACCESS STAIRWAYS AND RAMPS.

2.INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS.

3 FXIT PASSAGEWAYS.

4.VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH SECTION 1028.2.

5.EXTERIOR LANDINGS AS REQUIRED BY SECTION 1010.1.5 FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE.

1008.3.3 ROOMS AND SPACES. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:

1.FLECTRICAL EQUIPMENT ROOMS.

2 FIRE COMMAND CENTERS.

3.FIRE PUMP ROOMS.

4.GENERATOR ROOMS.

5.PUBLIC RESTROOMS WITH AN AREA GREATER THAN 300 SQUARE FEET (27.87 M2).

1008.3.4 DURATION.

THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES LINIT FOLIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION

1008.3.5 ILLUMINATION LEVEL UNDER EMERGENCY POWER. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. IN GROUP I-2 OCCUPANCIES, FAILURE OF A SINGLE LAMP IN A LUMINAIRE SHALL NOT REDUCE THE ILLUMINATION LEVEL TO LESS THAN 0.2 FOOTCANDLE (2.2

SECTION 1013

EXIT SIGNS

1013.1 WHERE REQUIRED.

EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS
TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS
TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF FGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL B SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET (30 480 MM) OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

EXCEPTIONS:

1,EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS THAT REQUIRE ONLY ONE EXIT OR EXIT ACCESS.

2 MAIN EXTERIOR EXIT DOORS OR GATES THAT ARE OBVIOUSLY AND CLEARLY IDENTIFIABLE AS EXITS NEED NOT HAVE EXIT SIGNS WHERE APPROVED BY THE BUILDING OFFICIAL.

3.EXIT SIGNS ARE NOT REQUIRED IN OCCUPANCIES IN GROUP U AND INDIVIDUAL SLEEPING UNITS OR DWELLING UNITS IN GROUP R-1, R-2 OR R-3,

4.EXIT SIGNS ARE NOT REQUIRED IN DAYROOMS, SLEEPING ROOMS OR DORMITORIES IN OCCUPANCIES IN GROUP 1-3.

5.IN OCCUPANCIES IN GROUPS A-4 AND A-5. EXIT SIGNS ARE NOT REQUIRED ON THE SEATING SIDE OF VOMITORIES OR OPENINGS INTO SEATING AREAS WHERE EXIT SIGNS ARE PROVIDED IN THE CONCOURSE THAT ARE READILY APPARENT FROM THE VOMITORIES. EGRESS LIGHTING IS PROVIDED TO IDENTIFY FACH VOMITORY OR OPENING WITHIN THE SEATING

1013.2 LOW-LEVEL EXIT SIGNS IN GROUP R-1 WHERE EXIT SIGNS ARE REQUIRED IN GROUP R-1 OCCUPANCIES BY SECTION 1013.1, ADDITIONAL LOW-LEVEL EXIT SIGNS SHALL BE PROVIDED IN ALL AREAS SERVING GUEST ROOMS IN GROUP R-1 OCCUPANCIES AND SHALL COMPLY WITH SECTION 1013.5.

THE BOTTOM OF THE SIGN SHALL BE NOT LESS THAN 10 INCHES (254 MM) NOR MORE THAN 18 INCHES (455 MM) ABOVE THE FLOOR LEVEL. THE SIGN SHALL BE FLUSH WALL, THE EDGE OF THE SIGN SHALL BE WITHIN 4 INCHES (102 MM) OF THE DOOR FRAME ON THE LATCH SIDE.

1013.3 ILLUMINATION.

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.

EXCEPTION: TACTILE SIGNS REQUIRED BY SECTION 1013.4 NEED NOT BE PROVIDED WITH ILLUMINATION.

1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS. WHERE EXIT SIGNS ARE PROVIDED AT AN AREA OF REFUGE PROVIDING DIRECT ACCESS TO A STAIRWAY, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY OR RAMP, AN EXIT PASSAGEWAY, A HORIZONTAL EXIT AND THE EXIT DISCHARGE, A SIGN STATING "EXIT" IN VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED.

1013.5 INTERNALLY ILLUMINATED EXIT SIGNS. ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

1013.6EXTERNALLY ILLUMINATED EXIT SIGNS. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH SECTIONS 1013.6.1 THROUGH 1013.6.3.

1013.6.1 GRAPHICS

EVERY EXIT SIGN AND DIRECTIONAL EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES (152 MM) HIGH WITH THE PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN 3/4 INCH (19.1 MM) WIDE. THE WORD "EXIT" SHALL HAVE LETTERS HAVING A WIDTH NOT LESS THAN 2 INCHES (51 MM) WIDE, EXCEPT THE LETTER "," AND THE MINIMUM SPACING BETWEEN LETTERS SHALL BE NOT LESS THAN 3/8 INCH (9.5 MM). SIGNS LARGER THAN THE MINIMUM ESTABLISHED IN THIS SECTION SHALL HAVE LETTER WIDTHS, STROKES AND SPACING PROPORTION TO THEIR HEIGHT.

THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH THE BACKGROUND AND SHALL BE CLEARLY DISCERNIBLE WHEN THE MEANS OF EXIT SIGN ILLUMINATION IS OR IS NOT ENERGIZED. IF A CHEVRON DIRECTIONAL INDICATOR IS PROVIDED AS PART OF THE EXIT SIGN, THE CONSTRUCTION SHALL BE SUCH THAT THE DIRECTION OF THE CHEVRON DIRECTIONAL INDICATOR CANNOT BE READILY CHANGED.

1013.6.2 EXIT SIGN ILLUMINATION THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOTCANDLES (54 LUX).

1013.6.3 POWER SOURCE.

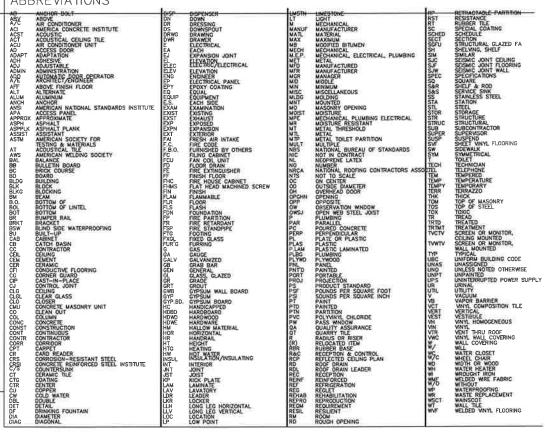
EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE NSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE N ACCORDANCE WITH CHAPTER 27. GROUP I-2, CONDITION 2 EXIT SIGN ILLUMINATION SHALL NOT BE PROVIDED BY UNIT QUIPMENT BATTERIES ONLY.

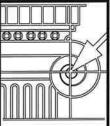
EXCEPTION: APPROVED EXIT SIGN ILLUMINATION TYPES THAT PROVIDE CONTINUOUS ILLUMINATION INDEPENDENT OF EXTERNAL POWER SOURCES FOR A DURATION OF NOT LESS THAN 90 MINUTES, IN CASE OF PRIMARY POWER LOSS, ARE NOT REQUIRED TO BE CONNECTED TO AN EMERGENCY

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE. CODES AND REGULATIONS AUTHORITY HAVING JURISDICTION
 WILL BE RESPONSIBLE FOR THE APPROVAL OF ALL INSTALLED MATERIALS SHOULD A DISCREPANCY OCCUR BETWEEN A SPECIFY MATERIAL AND A CODE REQUIREMENT, THE GENERAL CONTRACTOR MUST NOTIFY THE OWNER AND ARCHITECT PRIOR TO COMMENCE OF
- . EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK.
 ANY DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- . NO WORK SHALL COMMENCE UNTIL PLANS HAVE BEEN APPROVED BY THE BUILDING DEPARTMENT AND ALL DEPARTMENTS HAVING JURISDICTION AND PERMIT TO BUILD HAS BEEN ISSUED.
- . CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AND PAY ALL REQUIRED FEES IN CONNECTION WITH THEIR WORK TO OWNER.
- THE ARCHITECT OF RECORD HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR SPECIAL & PROGRESS INSPECTIONS, HER RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE PLANS UNLESS STATED OTHERWISE BY WRITTEN AGREEMENT WITH OWNER.
- PATCH AND REPAIR EXISTING CONSTRUCTION WHERE DISTURBED BY NEW WORK AND AS CALLED FOR ON THE
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF ALL MATERIAL ON SITE.
- THE GENERAL CONTRACTOR SHALL CLEAN UP AND HAUL AWAY ALL DEBRIS ON A REGULAR BASIS AND SHALL MAINTAIN THE SITE IN A CLEAN, SAFE MANNER.
- UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS SHOWN ON THE DRAWINGS.

ABBREVIATIONS





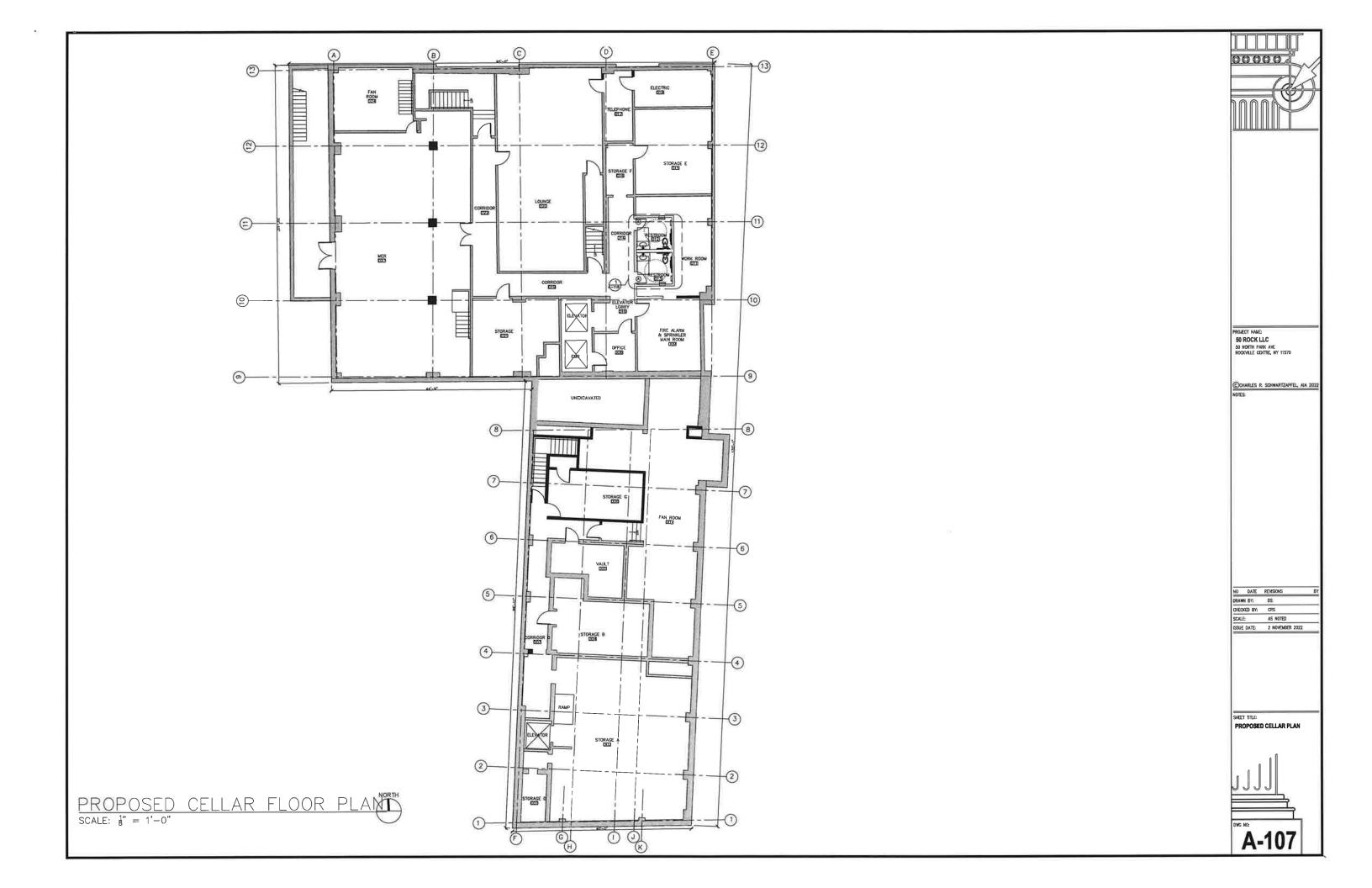
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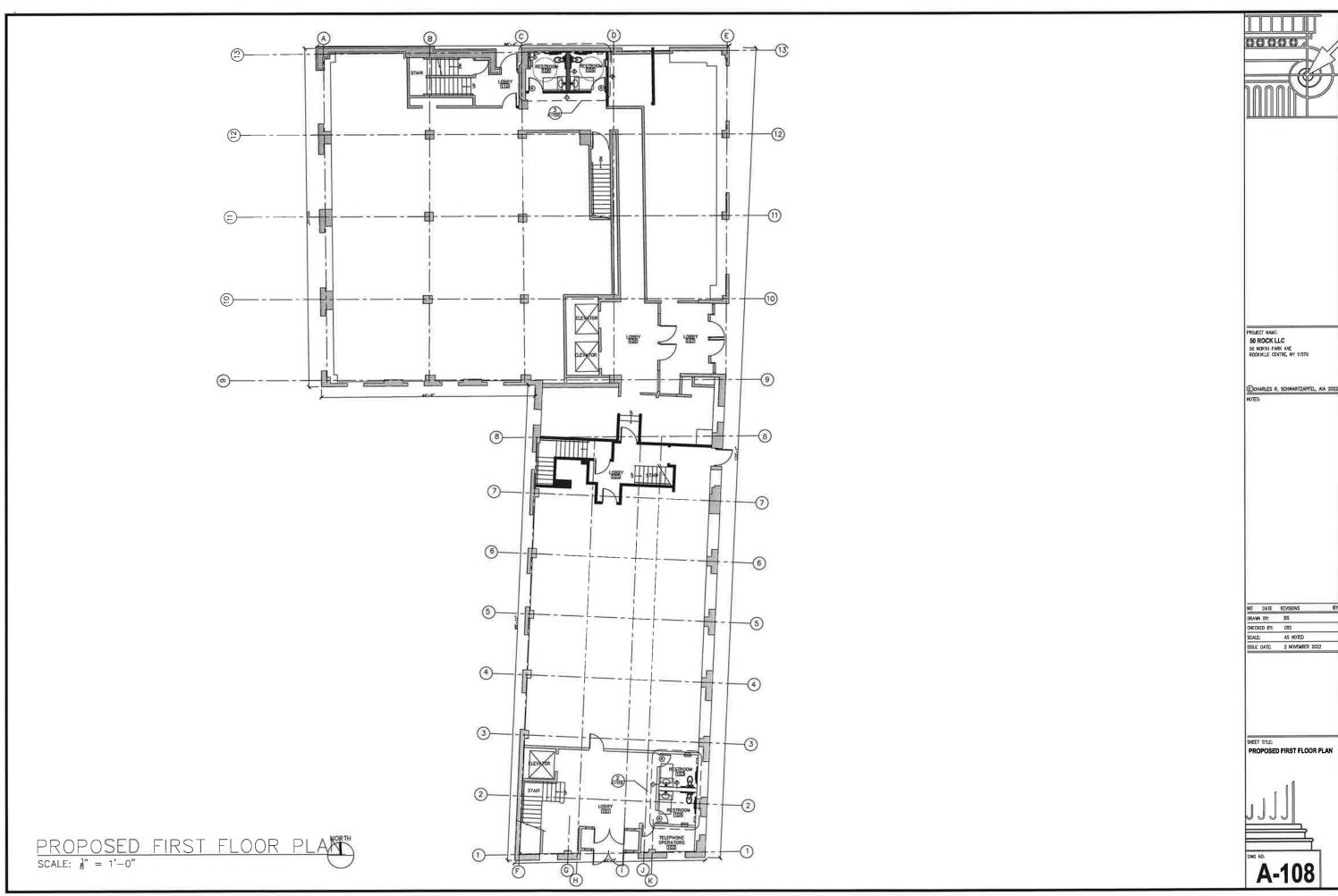
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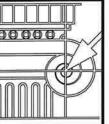
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MEANS OF EGRESS NOTES **GENERAL NOTES**

SHEET TITLE:







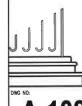
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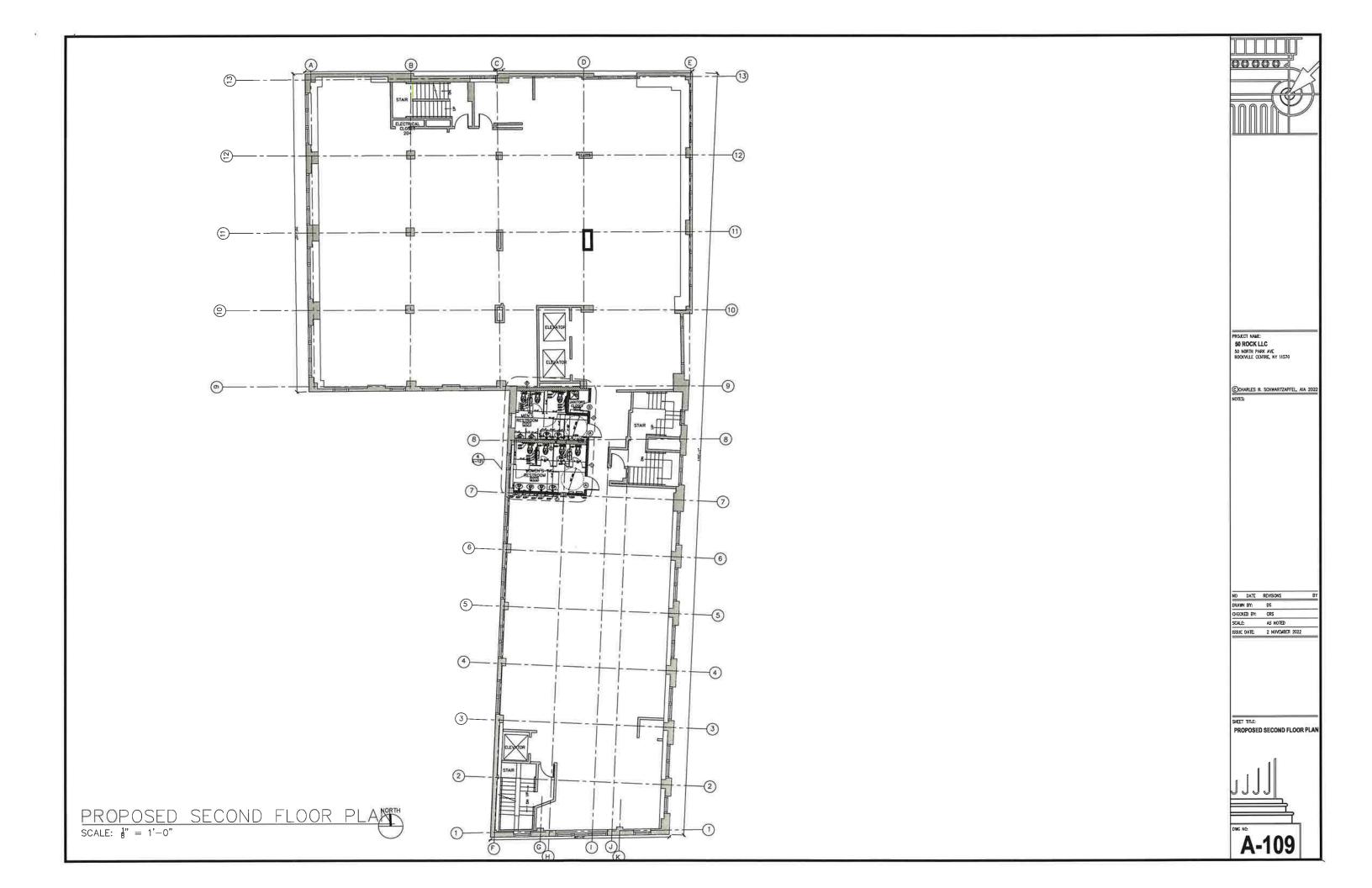
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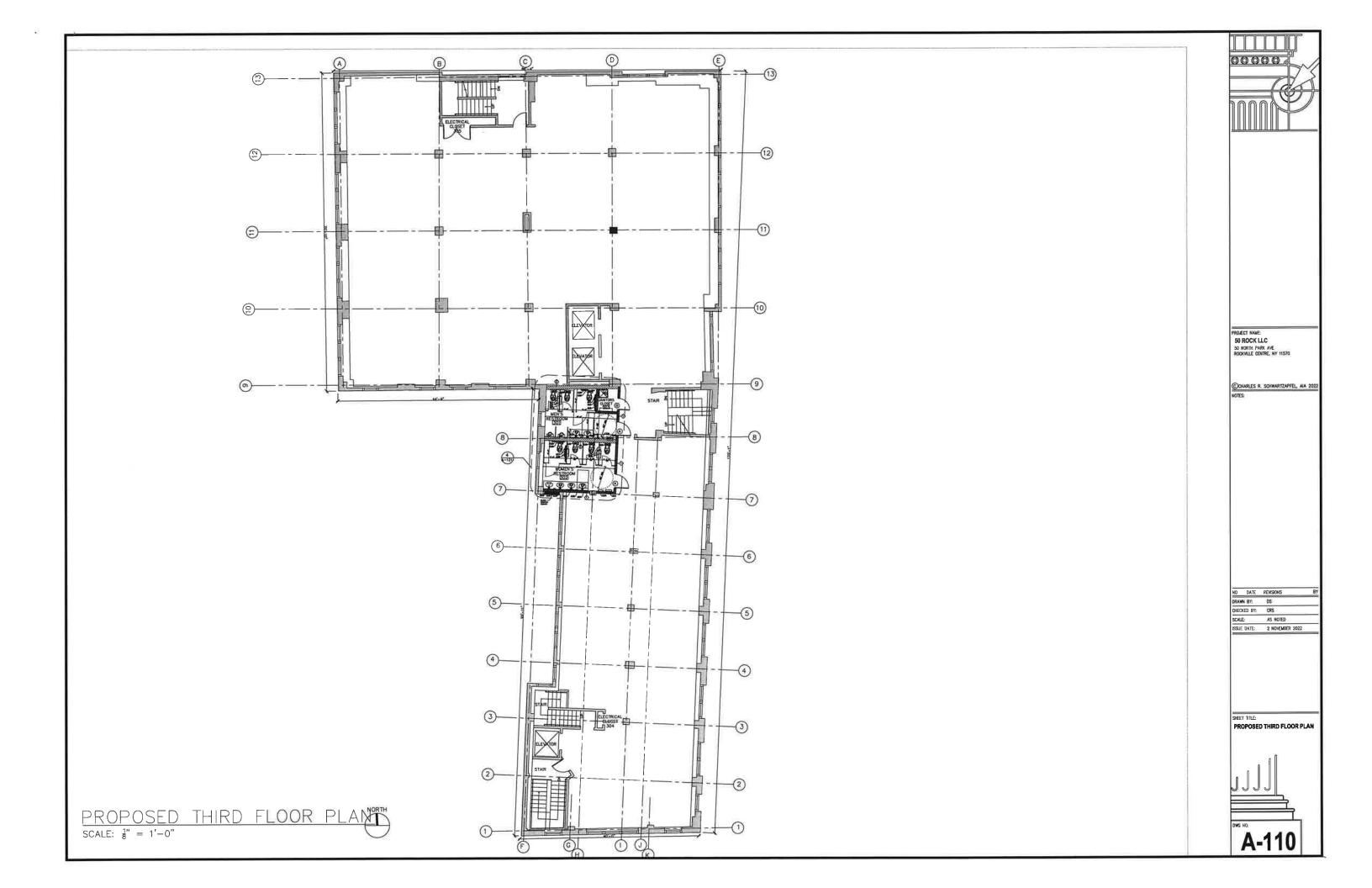
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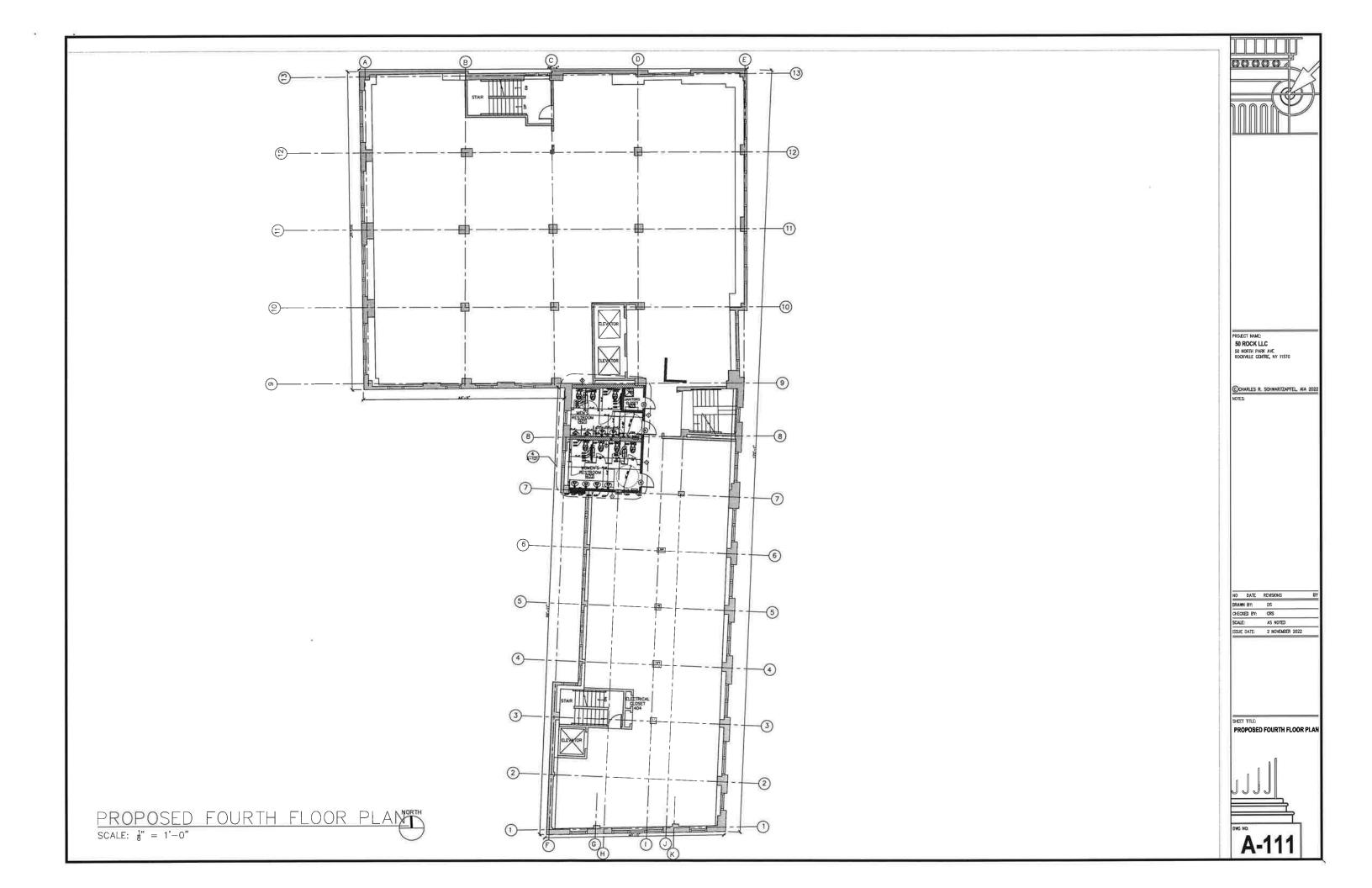
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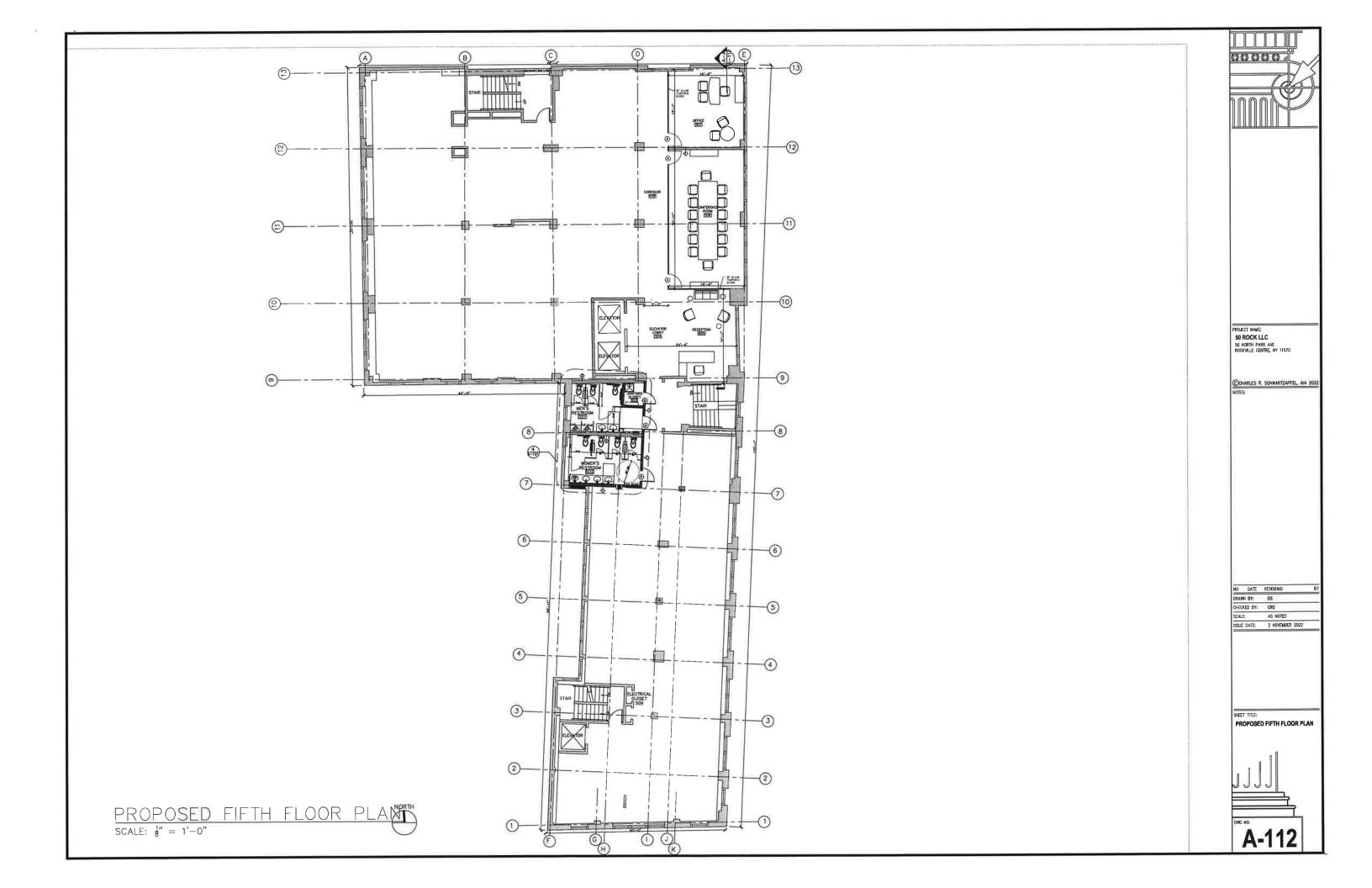
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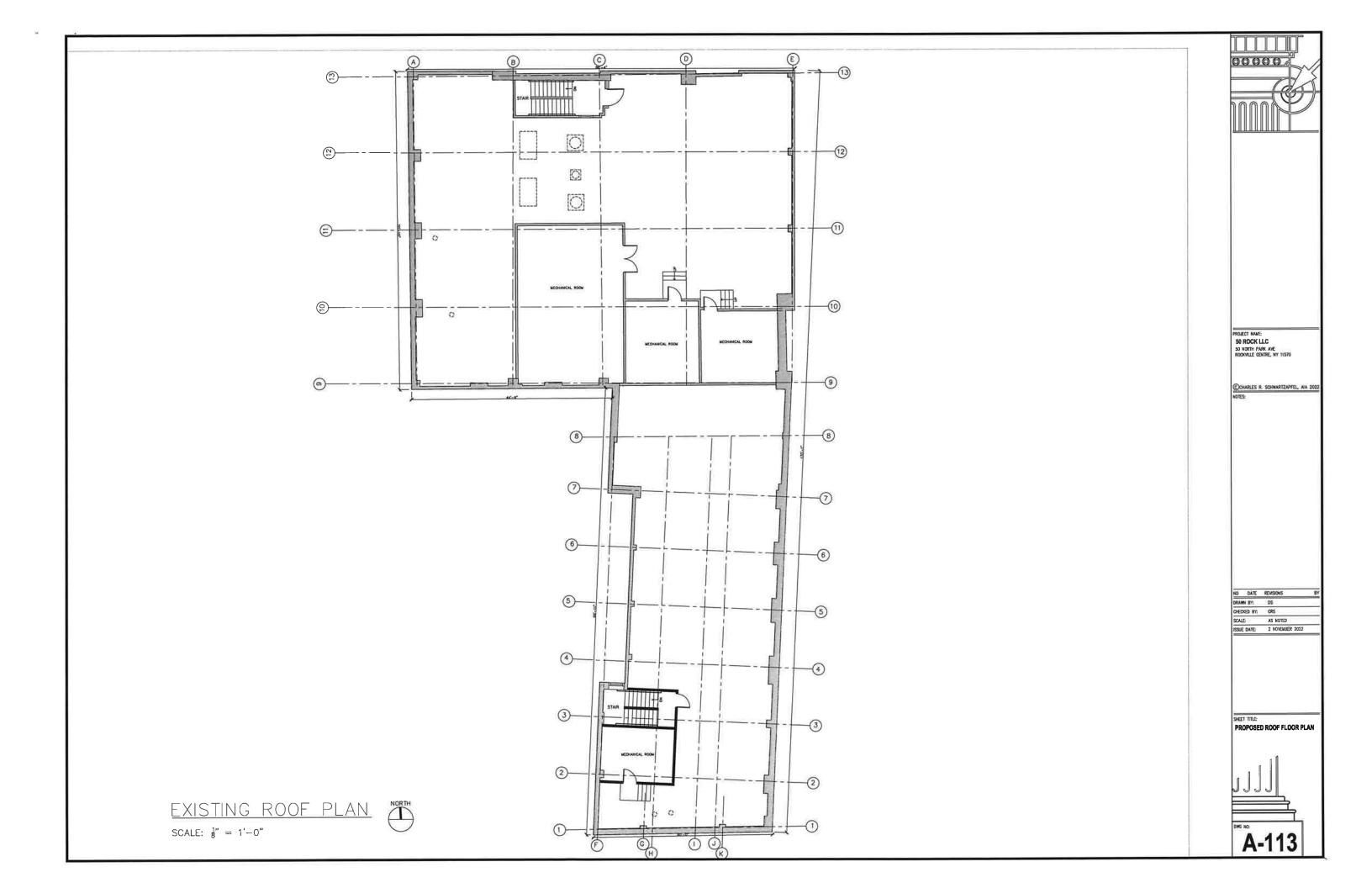




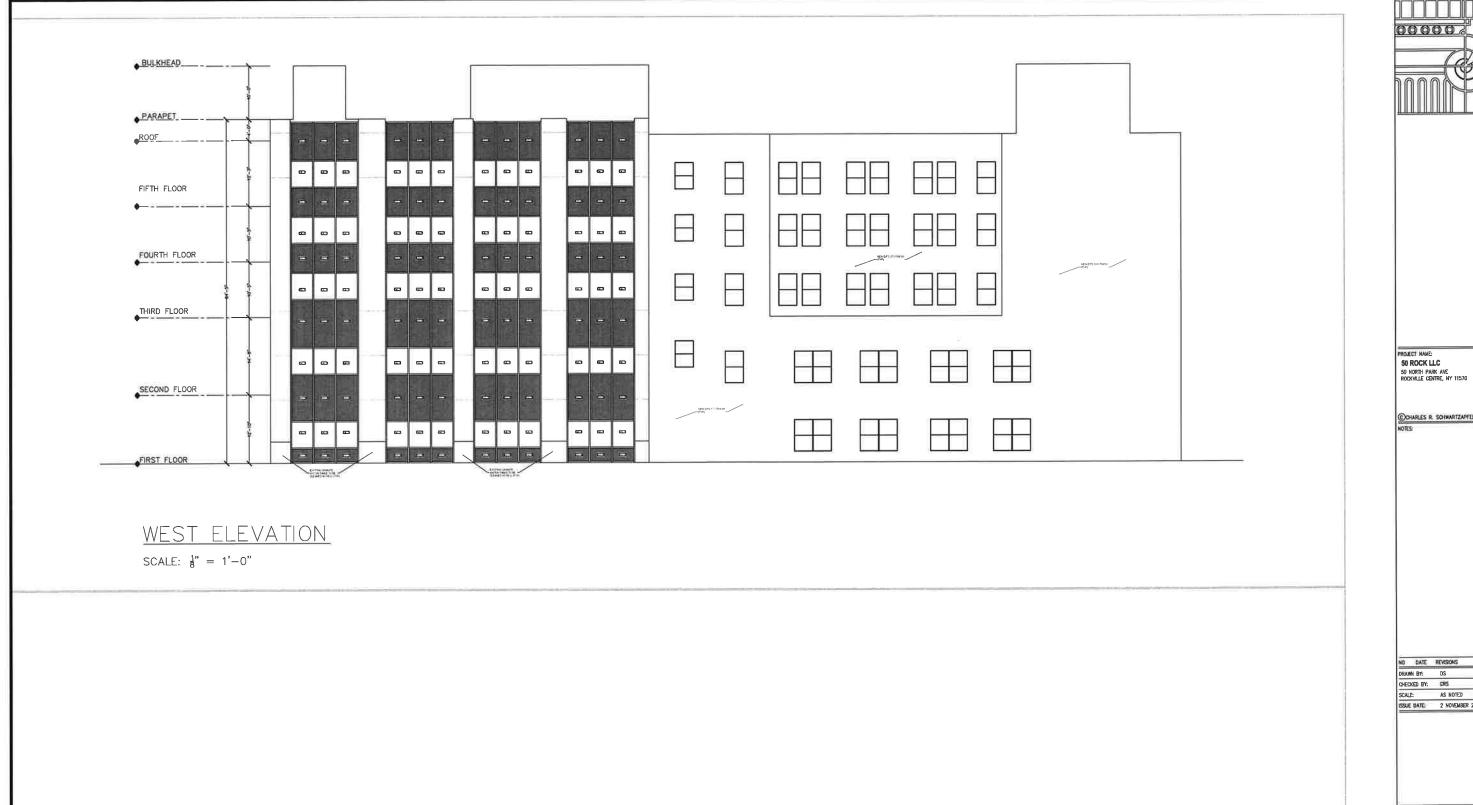


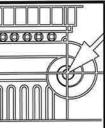










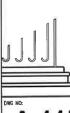


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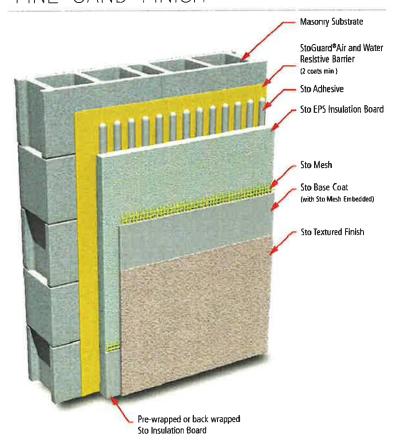
ISSUE DATE: 2 NOVEMBER 2022

SHET TITLE: PROPOSED ELEVATIONS





STO FINISH 310-10511, PACIFIC SAND FINE SAND FINISH



StoTherm SYSTEM COMPONENT DETAIL



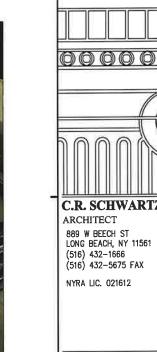
1" OVERALL CLEAR - 5,000 SQ.FT : 1/4" SOLARBRONZE TEMP - LOW-E: GUARDIAN SUNGUARD®SNX 62/27 OR EQUAL ON #2 1/2" SPACE ARGON FILLED & 1/4" CLEAR TEMP

1" OVERALL SPANDREL - 2,000 SQ.FT : 1/4" SOLARBRONZE TEMP - LOW-E: GUARDIAN SUNGUARD®SNX 62/27 OR EQUAL ON #2 1/2" SPACE ARGON FILLED & 1/4" CLEAR TEMP WITH WARM GREY SPANDREL PAINT



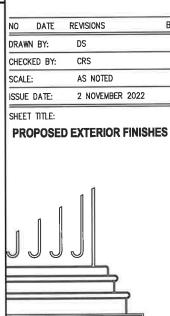
FRAME: 2 1/2"x5 1/2" ALUMINUM CURTAINWALL FRAME

FINISH: CLEAR OR DARK BRONZE ANODIZED FINISH



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50 ROCK LLC 50 NORTH PARK AVE ROCKVILLE CENTRE, NY 11570



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