





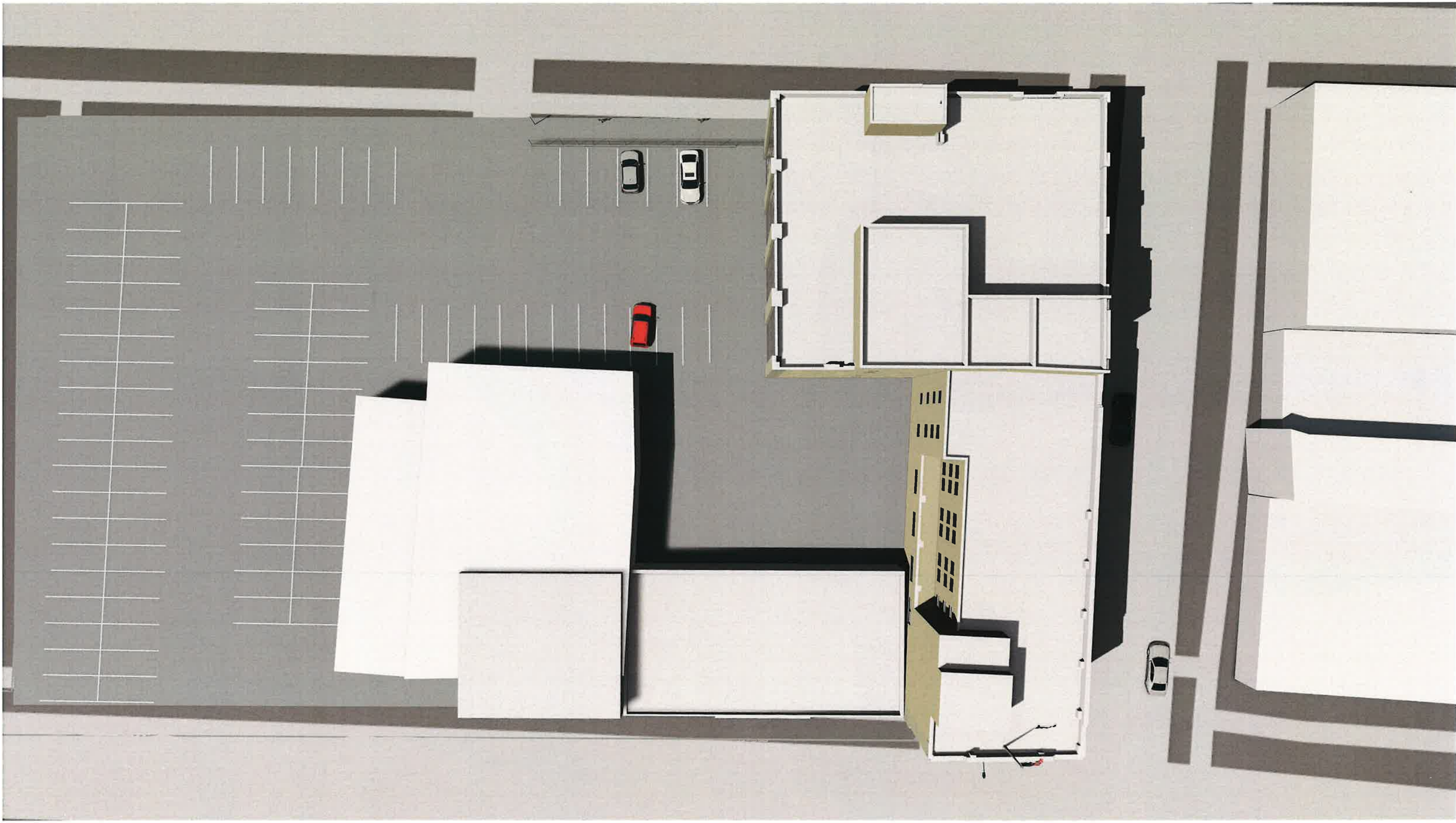
*illuminations*  
THE LIGHTS OF THE CITY

50  
NORTH PARK AVENUE









**DESCRIPTION OF PROPERTY**

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERRECTED, SITUATE, LYING AND BEING IN THE INCORPORATED VILLAGE OF ROCKVILLE CENTRE, TOWN OF HEMPSTEAD, COUNTY OF NASSAU AND STATE OF NEW YORK, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

**AS TO LOT 9**

BEGINNING AT A POINT ON THE NORTHERLY SIDE OF SUNRISE HIGHWAY, FORMERLY OBSERVER STREET, DISTANT 250 FEET WESTERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF SUNRISE HIGHWAY AND THE WESTERLY SIDE OF PARK AVENUE;

RUNNING THENCE WESTERLY ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, A DISTANCE OF 50.70 FEET;

THENCE NORTHERLY ON A LINE FORMING AN INTERIOR ANGLE OF 86 DEGREES 40 MINUTES WITH THE NORTHERLY SIDE OF SUNRISE HIGHWAY, A DISTANCE OF 200.00 FEET TO LAND OF THE LONG ISLAND RAILROAD COMPANY;

THENCE EASTERLY ON A LINE FORMING AN INTERIOR ANGLE OF 93 DEGREES 20 MINUTES WITH THE LAST-MENTIONED COURSE AND ALONG THE LAND OF THE LONG ISLAND RAILROAD COMPANY, A DISTANCE OF 50.70 FEET TO LAND OF THE ROMAN CATHOLIC DIOCESE OF ROCKVILLE CENTRE, NEW YORK;

THENCE SOUTHERLY ON A LINE FORMING AN INTERIOR ANGLE OF 86 DEGREES 40 MINUTES WITH THE LAST-MENTIONED COURSE AND ALONG THE LAND OF THE ROMAN CATHOLIC DIOCESE OF ROCKVILLE CENTRE, NEW YORK, A DISTANCE OF 200.00 FEET TO THE NORTHERLY SIDE OF SUNRISE HIGHWAY, AT THE POINT OR PLACE OF BEGINNING;

EXCEPTING THEREFROM THAT PORTION OF LAND BEING 28.05 FEET BY 50.70 FEET, FRONTING ON THE SOUTHERLY LINE OF SOUTH STATION PLAZA, ACQUIRED BY THE INCORPORATED VILLAGE OF ROCKVILLE CENTRE, FORMERLY LONG ISLAND RAILROAD, FOR RIGHT OF WAY EASEMENT AND USED AS A CONCRETE PAVEMENT.

**AS TO LOT 12**

BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF SUNRISE HIGHWAY AND THE WESTERLY SIDE OF NORTH PARK AVENUE;

RUNNING THENCE WESTERLY ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, 40 FEET;

THENCE NORTHERLY ON A LINE PARALLEL WITH THE WESTERLY SIDE OF NORTH PARK AVENUE, 100 FEET TO LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY;

THENCE EASTERLY ALONG SAID LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY AND PARALLEL TO THE NORTHERLY SIDE OF SUNRISE HIGHWAY, 40 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE SOUTHERLY ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, 100 FEET TO THE CORNER, AT THE POINT OR PLACE OF BEGINNING.

**AS TO LOTS 10, 17, AND 35**

BEGINNING AT A POINT ON THE NORTHERLY SIDE OF SUNRISE HIGHWAY (OBSERVER STREET), DISTANT 200 FEET WESTERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE WESTERLY SIDE OF NORTH PARK AVENUE AND THE NORTHERLY SIDE OF SUNRISE HIGHWAY;

RUNNING THENCE NORTH 76 DEGREES 20 MINUTES WEST, ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, 50 FEET TO LAND FORMERLY OF DAWSON, NOW OR FORMERLY OF EUGENIE SERIZIADZELLO LOCURTO;

THENCE ALONG SAID LAST-MENTIONED LAND, NORTH 17 DEGREES 00 MINUTES EAST, 200 FEET TO LAND OF THE LONG ISLAND RAILROAD;

THENCE ALONG SAID RAILROAD LAND, SOUTH 76 DEGREES 20 MINUTES EAST, 250 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, SOUTH 17 DEGREES 00 MINUTES WEST, 99.75 FEET TO LAND OF THE ROMAN CATHOLIC DIOCESE OF ROCKVILLE CENTRE, NEW YORK;

THENCE ALONG SAID DIOCESE LAND, THE FOLLOWING TWO COURSES AND DISTANCE:

- NORTH 76 DEGREES 20 MINUTES WEST, 40 FEET;
- SOUTH 17 DEGREES 00 MINUTES WEST, 0.25 FEET;

THENCE NORTH 76 DEGREES 20 MINUTES WEST, 160 FEET;

THENCE SOUTH 17 DEGREES 00 MINUTES WEST, 100 FEET TO THE NORTHERLY SIDE OF SUNRISE HIGHWAY, AT THE POINT OR PLACE OF BEGINNING.

**AS TO LOT 36**

BEGINNING AT A POINT ON THE WESTERLY SIDE OF NORTH PARK AVENUE, DISTANT 100 FEET NORTHERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE WESTERLY SIDE OF NORTH PARK AVENUE AND THE NORTHERLY SIDE OF SUNRISE HIGHWAY, AND WHICH SAID POINT OF BEGINNING IS ALSO WHERE THE SOUTHERLY SIDE LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY INTERSECTS THE SAID WESTERLY SIDE OF NORTH PARK AVENUE;

RUNNING THENCE NORTH 76 DEGREES 20 MINUTES WEST ALONG THE SOUTHERLY SIDE SAID LAND NOW OR FORMERLY OF THE KNICKERBOCKER ICE COMPANY, 40 FEET;

THENCE NORTH 17 DEGREES 00 MINUTES EAST, 3 INCHES (0.25 FEET TAX MAP);

THENCE SOUTH 76 DEGREES 20 MINUTES EAST, 40 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

THENCE SOUTH 17 DEGREES 00 MINUTES WEST ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, 3 INCHES (0.25 FEET TAX MAP) TO THE POINT OR PLACE OF BEGINNING.

**DESCRIPTION OF PROPERTY (OVERALL)**

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERRECTED, SITUATE, LYING AND BEING IN THE INCORPORATED VILLAGE OF ROCKVILLE CENTRE, TOWN OF HEMPSTEAD, COUNTY OF NASSAU AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF SUNRISE HIGHWAY (OBSERVER STREET) AND THE WESTERLY SIDE OF NORTH PARK AVENUE (PARK AVENUE);

RUNNING THENCE ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, NORTH 76 DEGREES 20 MINUTES WEST, A DISTANCE OF 40.00 FEET;

THENCE NORTH 17 DEGREES 00 MINUTES EAST, A DISTANCE OF 100.00 FEET;

THENCE NORTH 76 DEGREES 20 MINUTES WEST, A DISTANCE OF 160.00 FEET;

THENCE SOUTH 17 DEGREES 00 MINUTES WEST, A DISTANCE OF 100.00 FEET TO THE NORTHERLY SIDE OF SUNRISE HIGHWAY;

THENCE ALONG THE NORTHERLY SIDE OF SUNRISE HIGHWAY, NORTH 76 DEGREES 20 MINUTES WEST, A DISTANCE OF 100.70 FEET;

THENCE NORTH 17 DEGREES 00 MINUTES EAST, A DISTANCE OF 171.95 FEET TO THE SOUTHERLY WIDENED LINE OF SOUTH STATION PLAZA;

THENCE ALONG SAID SOUTHERLY WIDENED LINE OF SOUTH STATION PLAZA, SOUTH 76 DEGREES 20 MINUTES EAST, A DISTANCE OF 300.70 FEET TO THE WESTERLY SIDE OF NORTH PARK AVENUE;

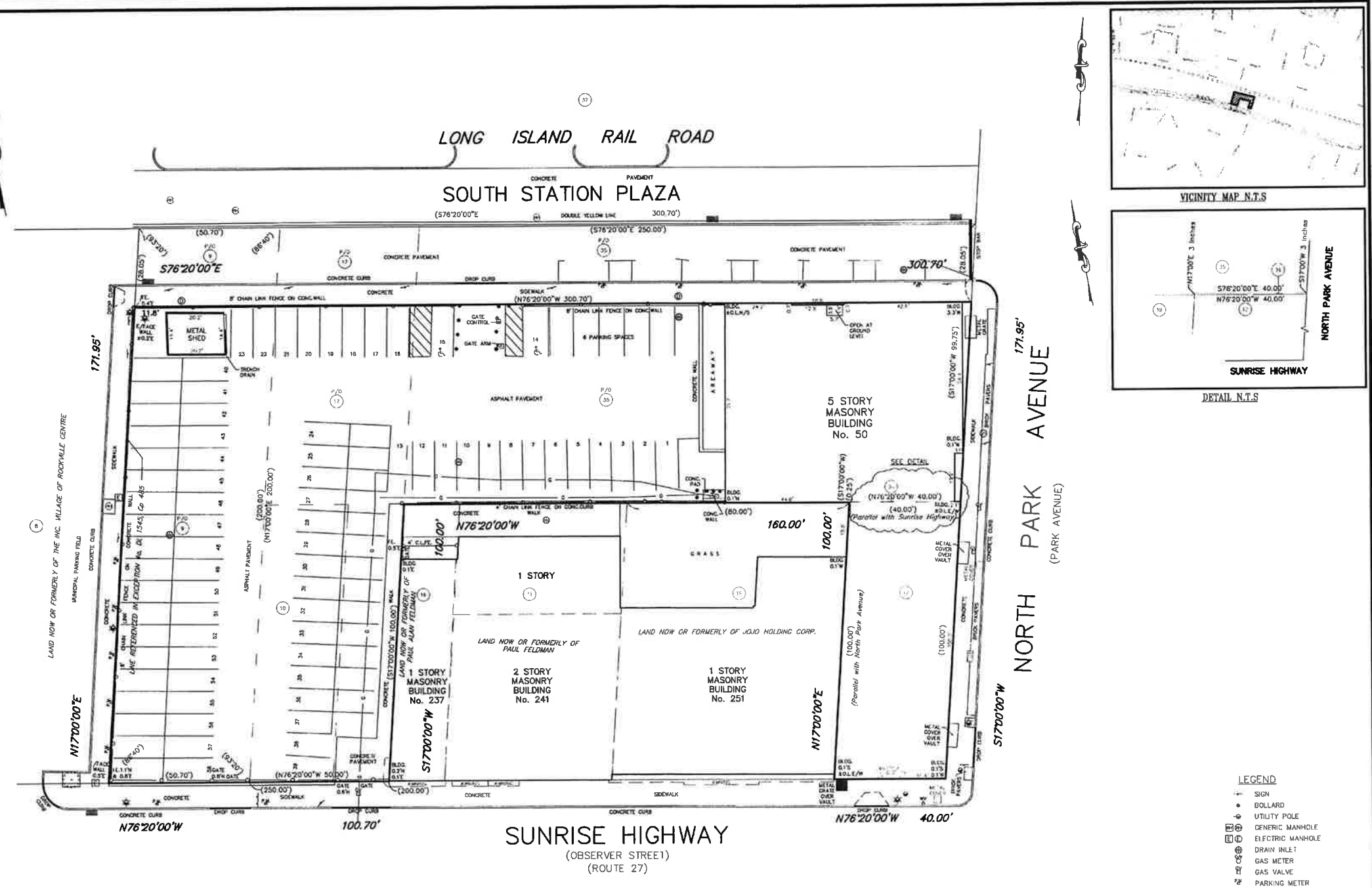
THENCE ALONG THE WESTERLY SIDE OF NORTH PARK AVENUE, SOUTH 17 DEGREES 00 MINUTES WEST, A DISTANCE OF 171.95 FEET TO THE CORNER, AT THE POINT OR PLACE OF BEGINNING.

SECTION 38 BLOCK 295 LOTS 10, 12, 36 & P/O LOTS 9, 17 & 35

**SCHEDULE B - EXCEPTIONS FROM POLICY COVERAGE**

4. COVENANTS, CONDITIONS, EASEMENTS, LEASES, AGREEMENTS OF RECORD AS FOLLOWS:

- BOUNDARY LINE AGREEMENT IN LIBER 1545 PAGE 485 (AS TO TAX LOT 9) AFFECTS SUBJECT PROPERTY IN THAT PARTIES AGREED THAT THE PREMISES OWNED BY SAID PARTIES ARE CORRECTLY DESCRIBED, FIXED AND DETERMINED BY THE DESCRIPTION.
- RESOLUTION ADOPTING ACQUISITION MAP No 8150-1985 WAS FILED IN THE DOCUMENT ROOM OF THE COUNTY OF NASSAU AND REFERENCED IN THE OFFICE OF THE CLERK OF THE COUNTY ON THE MASTER PROPERTY CARD FOR TAX SECTION 38, BLOCK 295 AS A VESTING OF TITLE TO THE VILLAGE OF ROCKVILLE CENTRE ON OCTOBER 14, 1985 AND FILED IN THE DOCUMENT ROOM ON OCTOBER 14, 1985 IN LIBER 8550 Cp. 65.



- GENERAL NOTES:**
- PROPERTY ADDRESS IS 50 NORTH PARK AVENUE, ROCKVILLE CENTRE, NEW YORK 11570
  - PROPERTY APPEARS ON FEMA MAP 362586, PANEL NUMBER 02170 AND LIES IN AN AREA OF MINIMAL FLOOD HAZARD ZONE "X"
  - AREA OF PROPERTY = 35,846±Sq. Ft. or 0.818±Acres
  - BUILDING AREA = 10,068±Sq. Ft. - BUILDING HEIGHT = XXXX.XX' SHED AREA = 291±Sq. Ft. - SHED HEIGHT = XXXX.XX'
  - THERE ARE 64 PARKING SPACES INCLUDING 2 HANDICAP SPACES
  - NASSAU COUNTY TAX MAP DESIGNATION: SECTION 38 BLOCK 295 LOTS 10, 12, 36 & P/O LOTS 9, 17 & 35
  - DEEDS USED TO ASSEMBLE BOUNDARY LIBER 14099 Cp. 643 AND LIBER 14099 Cp. 650
  - THIS SURVEY WAS PREPARED UTILIZING A TITLE REPORT ISSUED BY STEWART TITLE INSURANCE COMPANY, BEARING AN EFFECTIVE DATE OF JUNE 15, 2021 TITLE NO. 71170139
  - THIS SURVEY MAP WAS PREPARED UTILIZING A TITLE REPORT ISSUED BY STEWART TITLE INSURANCE COMPANY, BEARING AN EFFECTIVE DATE OF JUNE 15, 2021 TITLE NO. 71170139

**SURVEYOR'S CERTIFICATION**

TO:

- ROCK 50 LLC
- METROPOLITAN COMMERCIAL BANK, it's successors and or assigns
- STEWART TITLE INSURANCE COMPANY
- (TITLE No. 71170139)

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7, 8, 9, 13, 14 AND 20 OF THE TABLE A THEREOF, THE FIELDWORK WAS COMPLETED ON AUGUST 5, 2021.

DATE OF PLAT OR MAP: August 9, 2021

*[Signature]*

RALPH ANDERSON, L.S.  
N.Y. License No. 49462

DANIEL A. KADYSZEWSKI, L.S.  
N.Y. License No. 50238

- LEGEND**
- SIGN
  - BOLLARD
  - UTILITY POLE
  - GENERIC MANHOLE
  - ELECTRIC MANHOLE
  - DRAIN INLET
  - GAS METER
  - GAS VALVE
  - PARKING METER
  - CATCH BASIN
  - GAS SERVICE (OR LINE)
  - SANITARY SEWER MANHOLE
  - LIGHT POLE
  - CURB INLET DRAIN
  - PEDESTRIAN CROSSING SIGNAL
  - DECIDUOUS TREE

**ALTA/NSPS LAND TITLE SURVEY**

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT BEARING THE LAND SURVEYOR'S SEAL OR EMPLOYER'S SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL BE ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PREPARED FOR: 50 N. PARK AVE REALTY, LLC  
 MAP OF: Described Property Being Known as Lots 10, 12, 36 & P/O Lots 9, 17 & 35, Block 295, Section 38 on The Nassau County Land & Tax Map  
 LOCATED AT: Incorporated Village of ROCKVILLE CENTRE  
 COUNTY OF: Nassau, New York  
 CERTIFIED TO:

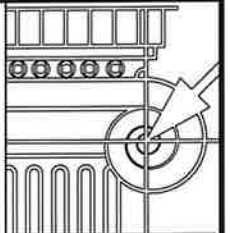
TITLE No.: NA  
 SCALE: 1" = 20'

SURVEYED ON: January 28, 2021

**AK ASSOCIATES**  
 PROFESSIONAL LAND SURVEYORS  
 100 NORTH PARK AVENUE  
 ROCKVILLE CENTRE, NEW YORK 11570  
 Tel: (516) 878-9610 - Fax: (516) 878-0348

RALPH ANDERSON  
 N.Y. Lic. No. 49462

DANIEL A. KADYSZEWSKI  
 N.Y. Lic. No. 50238



PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

CHARLES R. SCHWARTZAPFEL, AIA 2022  
 NOTES:

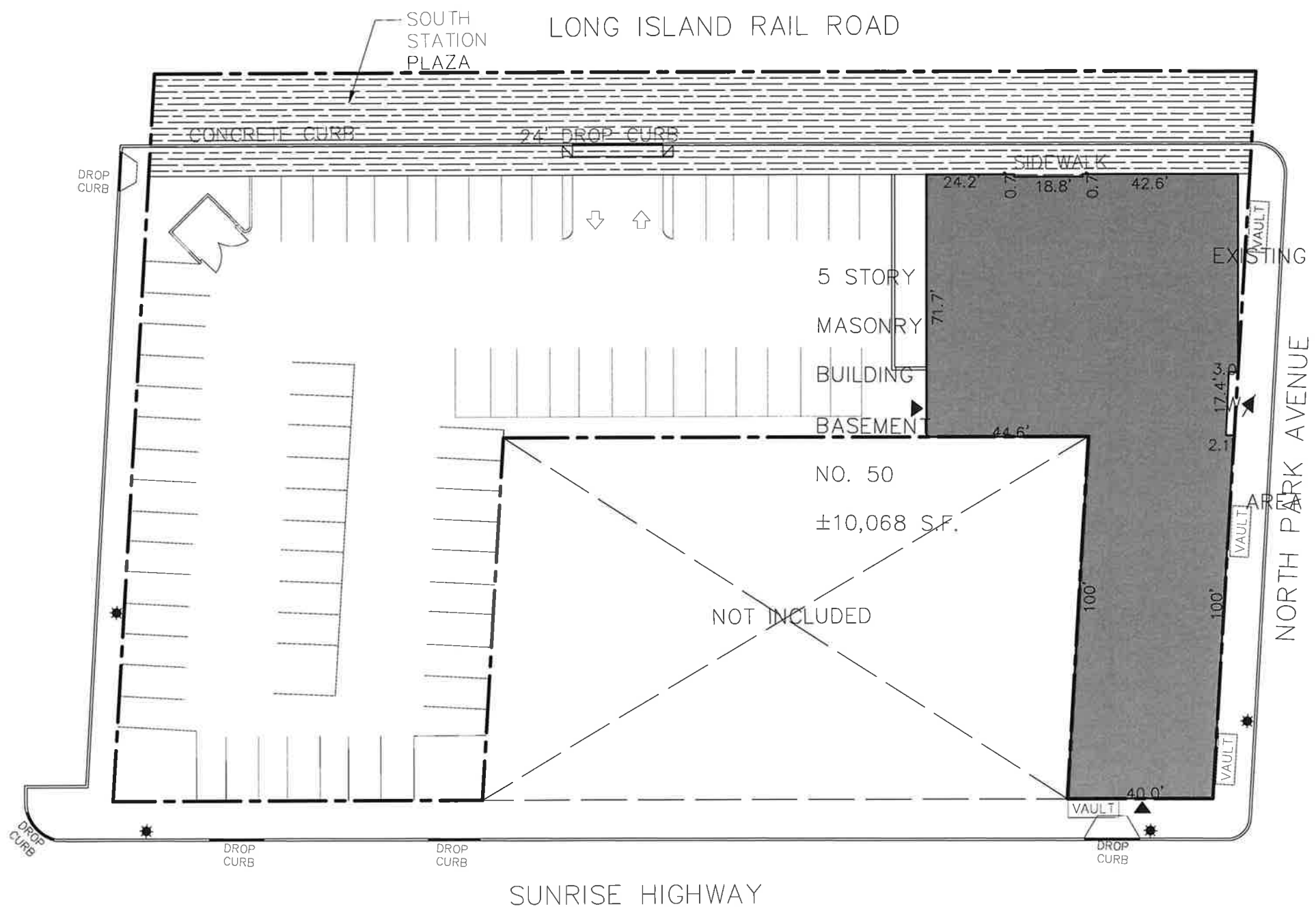
NO	DATE	REVISIONS	BY

SHEET TITLE:  
**SITE PLAN, DRAWING INDEX  
 ENERGY CODE REQUIREMENTS**

DWG NO:  
**T-100**

**LIST OF DRAWINGS**

T-100.00	SITE PLAN, LIST OF DRAWINGS, ENERGY CODE REQUIREMENTS.
A-100.00	ACCESSIBLE ROUTES NOTES AND DETAILS.
A-101.00	ACCESSIBLE ROUTES NOTES AND DETAILS.
A-102.00	PLUMBING ELEMENTS AND FACILITIES NOTES.
A-103.00	PLUMBING ELEMENTS AND FACILITIES NOTES, FIRE AND SMOKE PROTECTION FEATURES NOTES.
A-104.00	FIRE AND SMOKE PROTECTION FEATURES NOTES.
A-105.00	FIRE AND SMOKE PROTECTION FEATURES NOTES, MEAN OF EGRESS NOTES
A-106.00	MEAN OF EGRESS NOTES, GENERAL NOTES ABBREVIATIONS.
A-107.00	PROPOSED CELLAR FLOOR PLAN.
A-108.00	PROPOSED FIRST FLOOR PLAN.
A-109.00	PROPOSED SECOND FLOOR PLAN.
A-110.00	PROPOSED THIRD FLOOR PLAN.
A-111.00	PROPOSED FOURTH FLOOR PLAN.
A-112.00	PROPOSED FIFTH FLOOR PLAN.
A-113.00	PROPOSED ROOF FLOOR PLAN.
A-114.00	EAST ELEVATION, SOUTH ELEVATION, NORTH ELEVATION.
A-115.00	WEST ELEVATION.
A-116.00	EXTERIOR MATERIALS AND DETAILS



**SITE PLAN** NORTH  
 SCALE: 1/16" = 1'-0"

SYMBOL LEGEND	
	LOT LINE
	EXISTING WALLS TO REMAIN
	WALL SECTION CUT
	DETAIL KEY
	COLUMN GRID
	ROOM DESIGNATION
	NEW DOORS
	DOOR TAG
	EXISTING DOORS TO REMAIN

ENERGY CODE REQUIREMENTS:	
ENERGY ANALYSIS FOR ALTERATION PER 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE TABLE C301.1 CLIMATE ZONE 4A (NASSAU)	
ZONE NUMBER	THERMAL CRITERIA
4	N/A- NO CHANGE
"TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, ALL PLANS AND APPLICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020.	

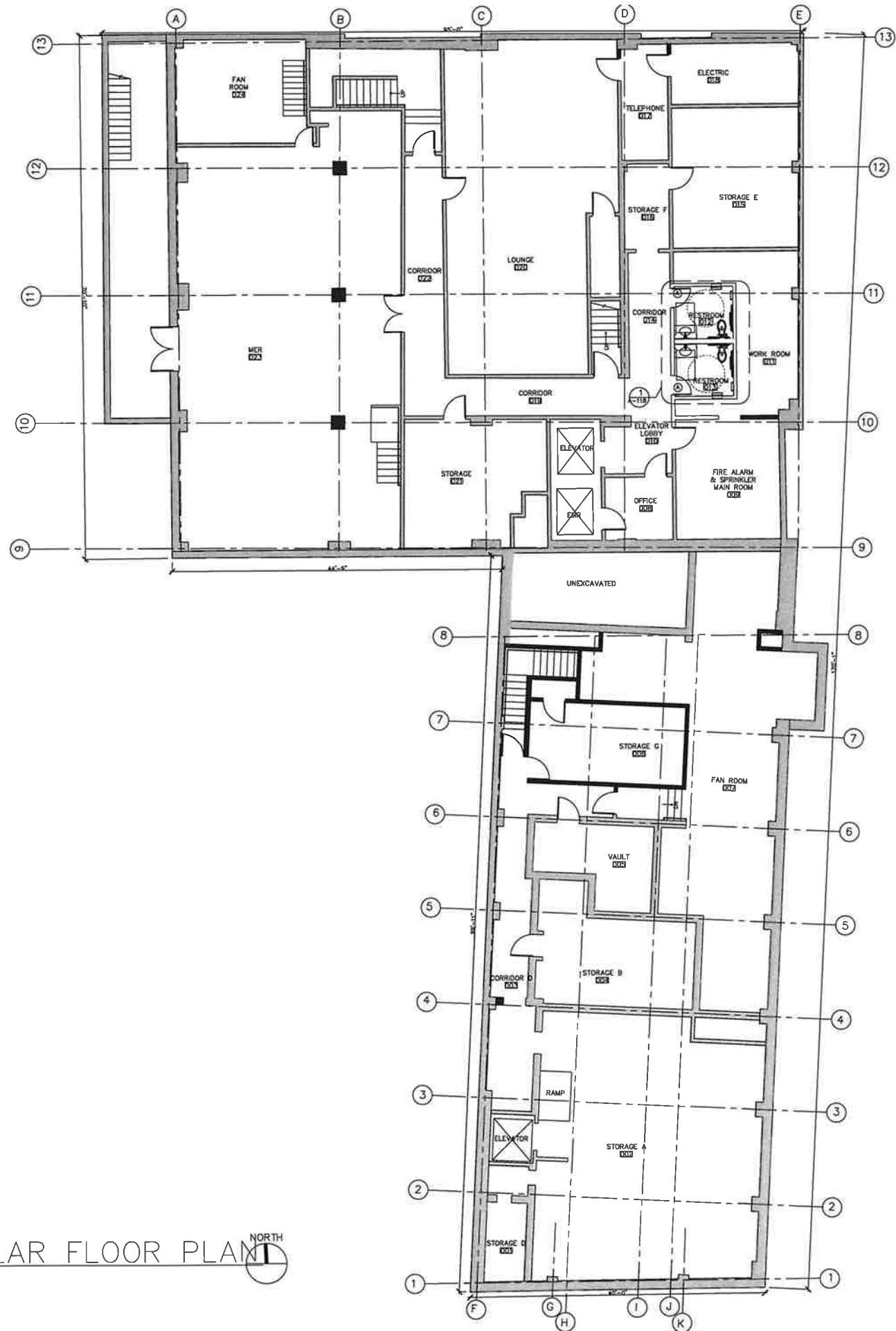












PROPOSED CELLAR FLOOR PLAN 

SCALE:  $\frac{1}{8}'' = 1'-0''$

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

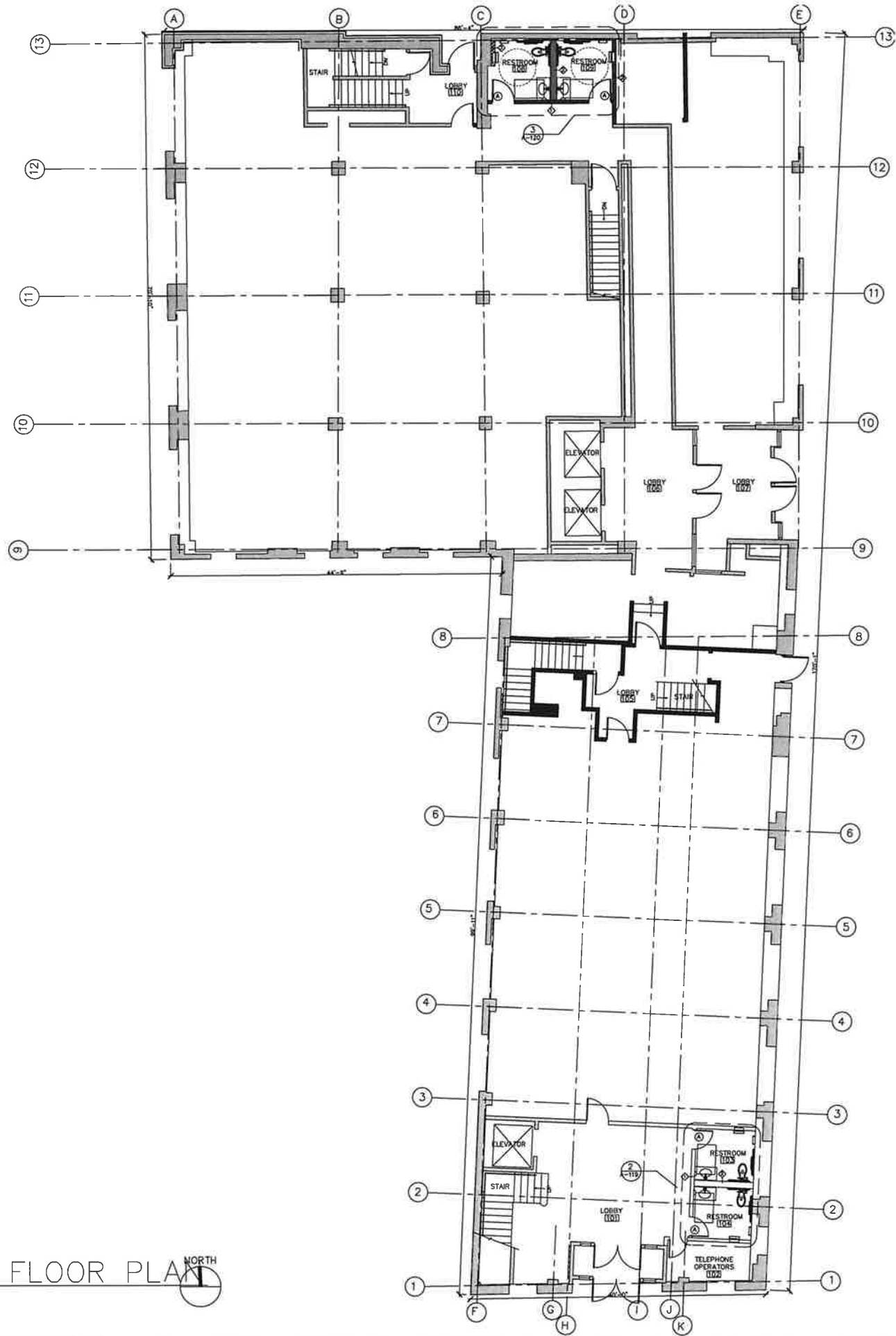
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NOTES:

NO	DATE	REVISIONS	BY

SHEET TITLE:  
**PROPOSED CELLAR PLAN**

DWG NO:  
**A-107**



PROPOSED FIRST FLOOR PLAN 

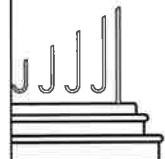
SCALE:  $\frac{1}{8}'' = 1'-0''$

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

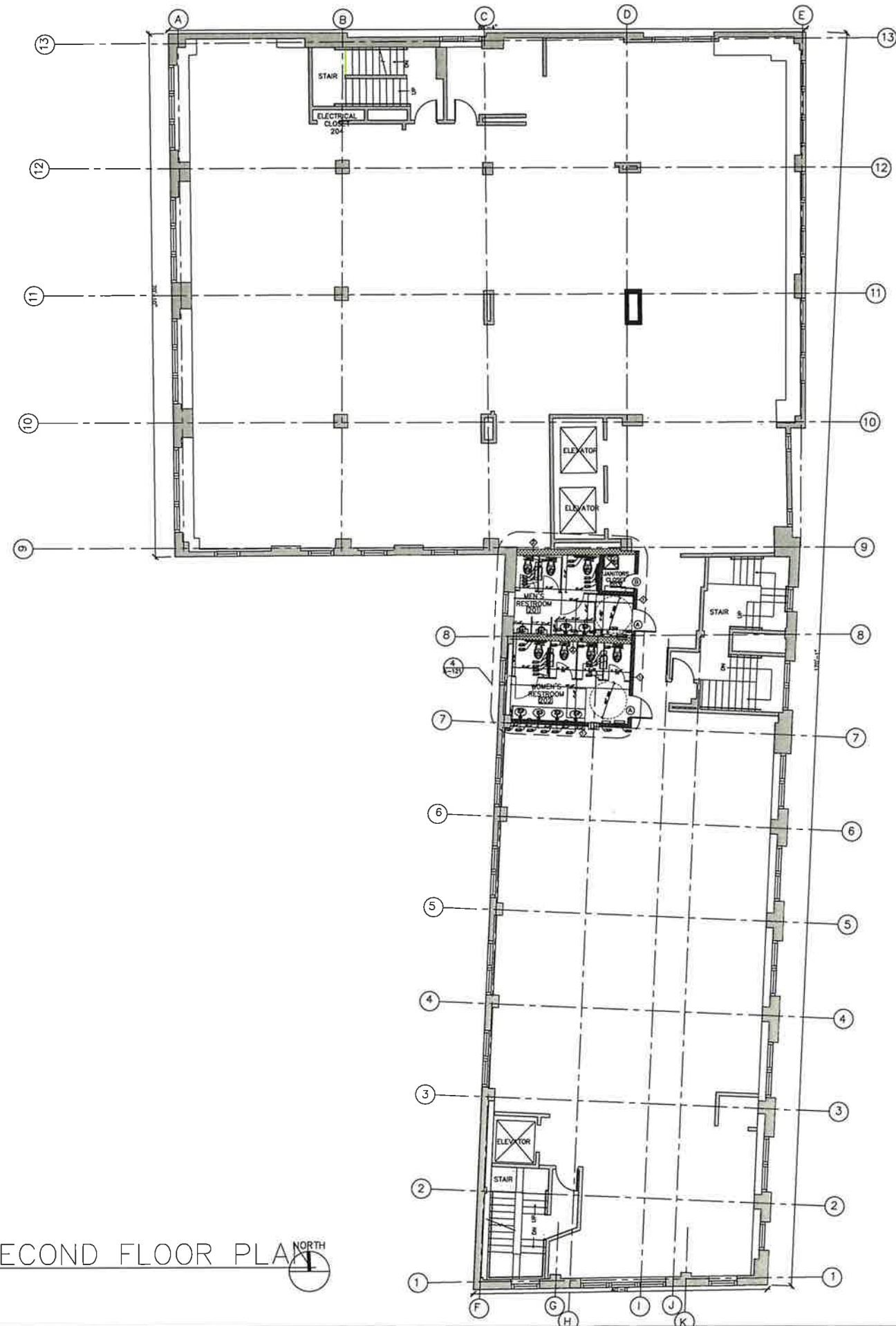
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 NOTES:

NO	DATE	REVISIONS	BY

SHEET TITLE:  
**PROPOSED FIRST FLOOR PLAN**



DWG NO.  
**A-108**



PROPOSED SECOND FLOOR PLAN 

SCALE:  $\frac{1}{8}'' = 1'-0''$

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

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 NOTES:

NO	DATE	REVISIONS	BY

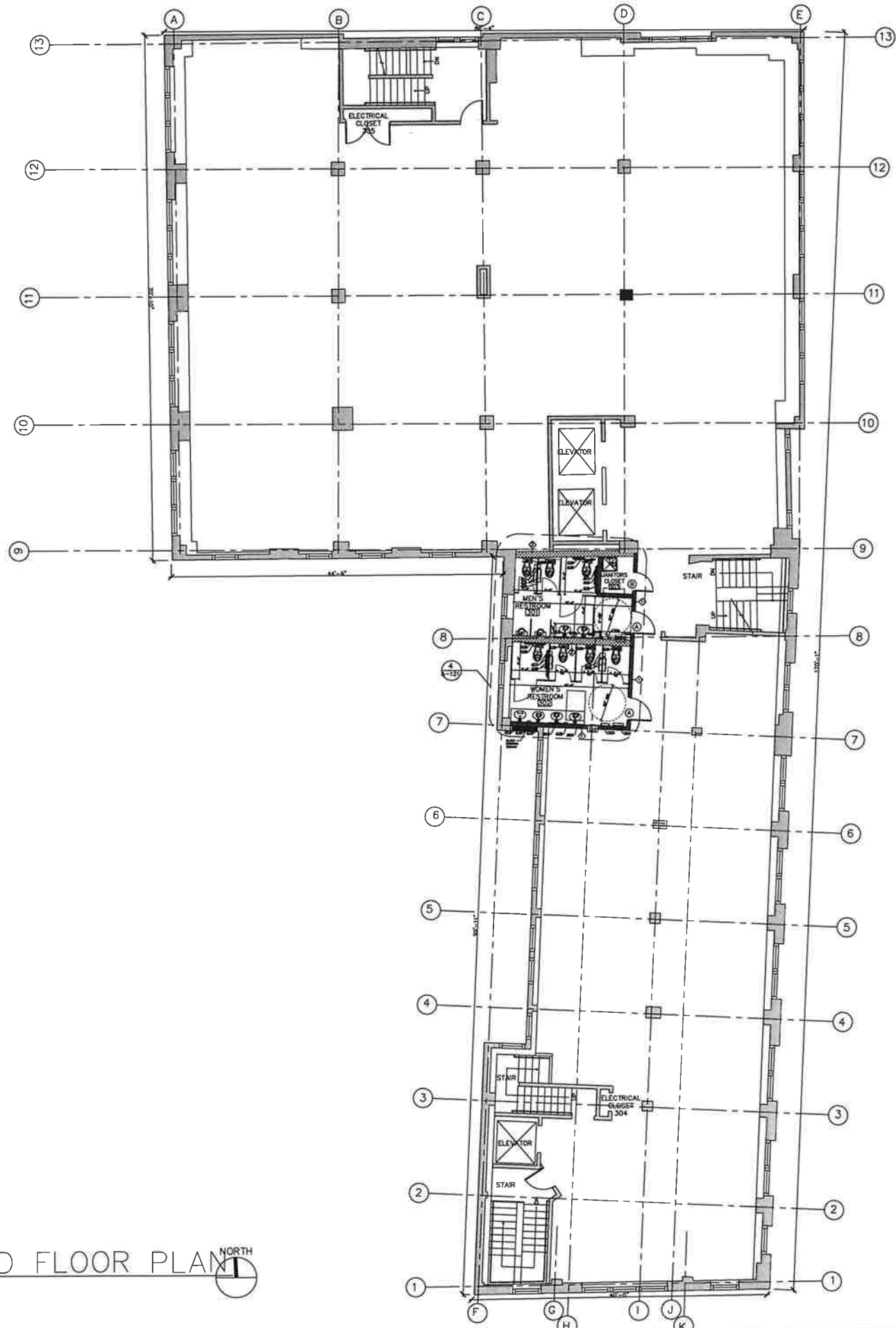
SHEET TITLE:  
**PROPOSED SECOND FLOOR PLAN**



DWG NO:  
**A-109**

PROPOSED THIRD FLOOR PLAN

SCALE:  $\frac{1}{8}'' = 1'-0''$

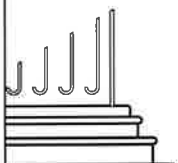


PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

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 NOTES:

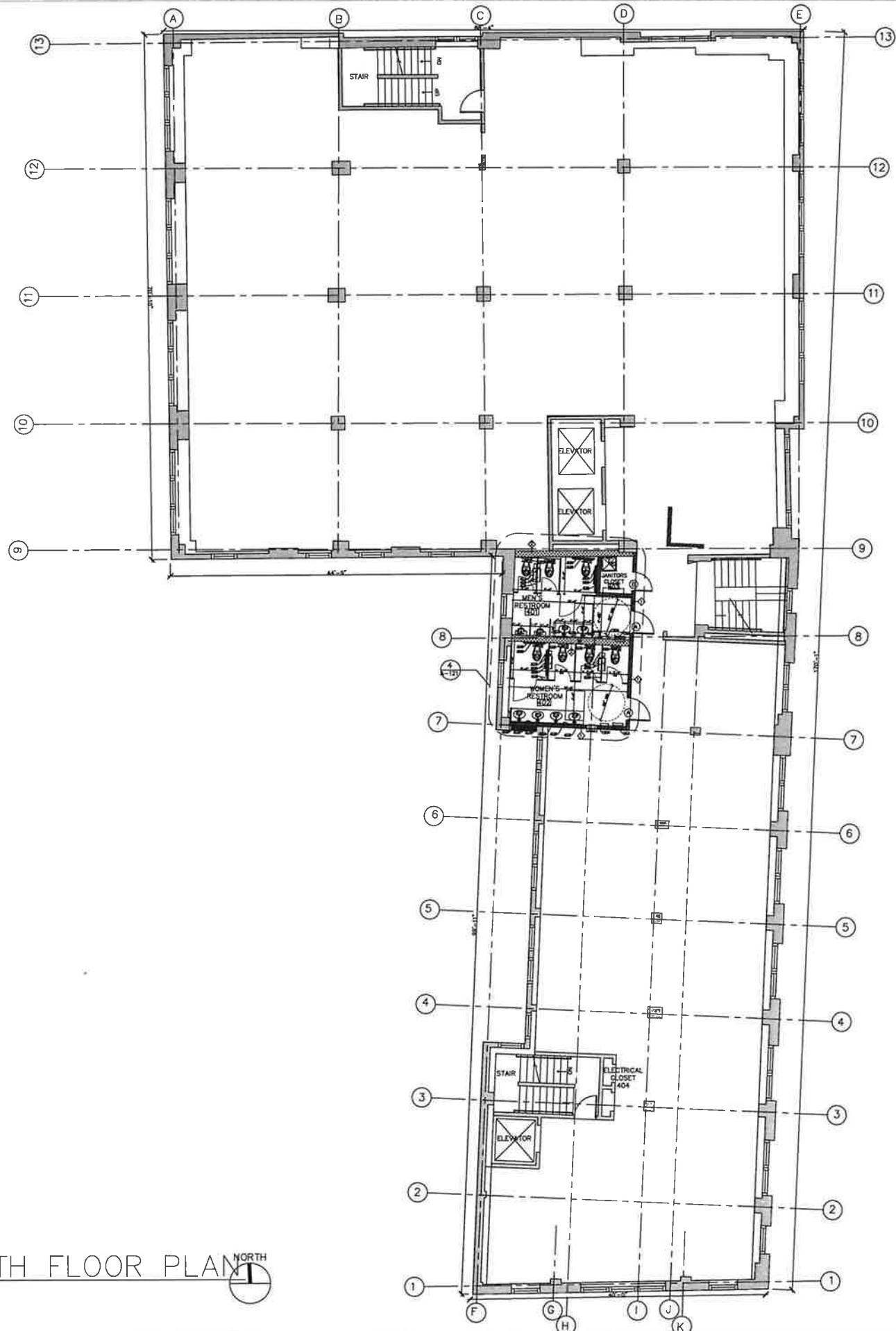
NO	DATE	REVISIONS	BY

SHEET TITLE:  
**PROPOSED THIRD FLOOR PLAN**



DWG NO:  
**A-110**





PROPOSED FOURTH FLOOR PLAN 

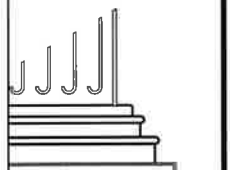
SCALE: 1/8" = 1'-0"

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

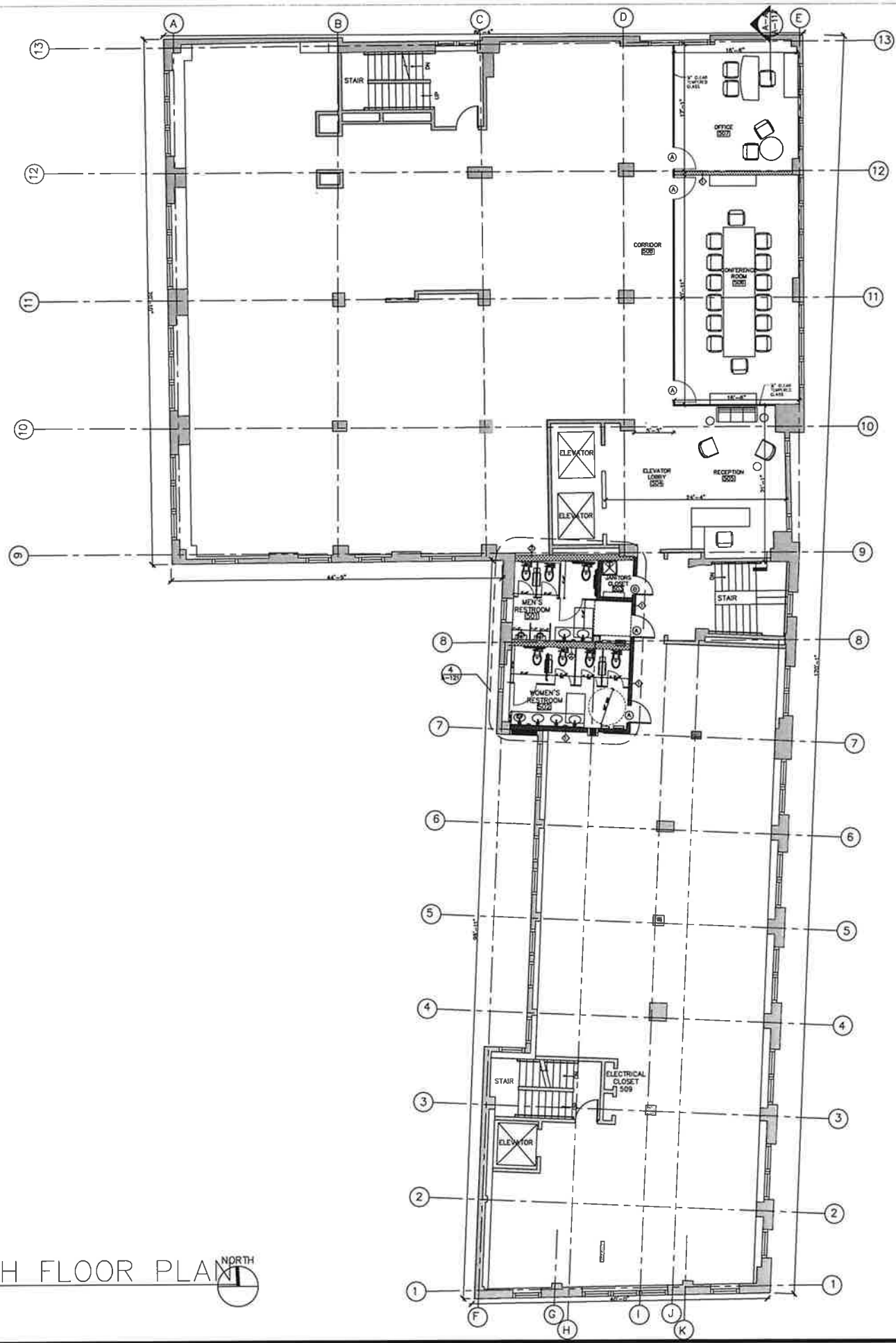
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 NOTES:

NO	DATE	REVISIONS	BY

SHEET TITLE:  
**PROPOSED FOURTH FLOOR PLAN**



DWG. NO.  
**A-111**



PROPOSED FIFTH FLOOR PLAN 

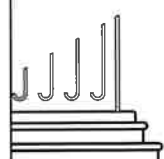
SCALE:  $\frac{1}{8}'' = 1'-0''$

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

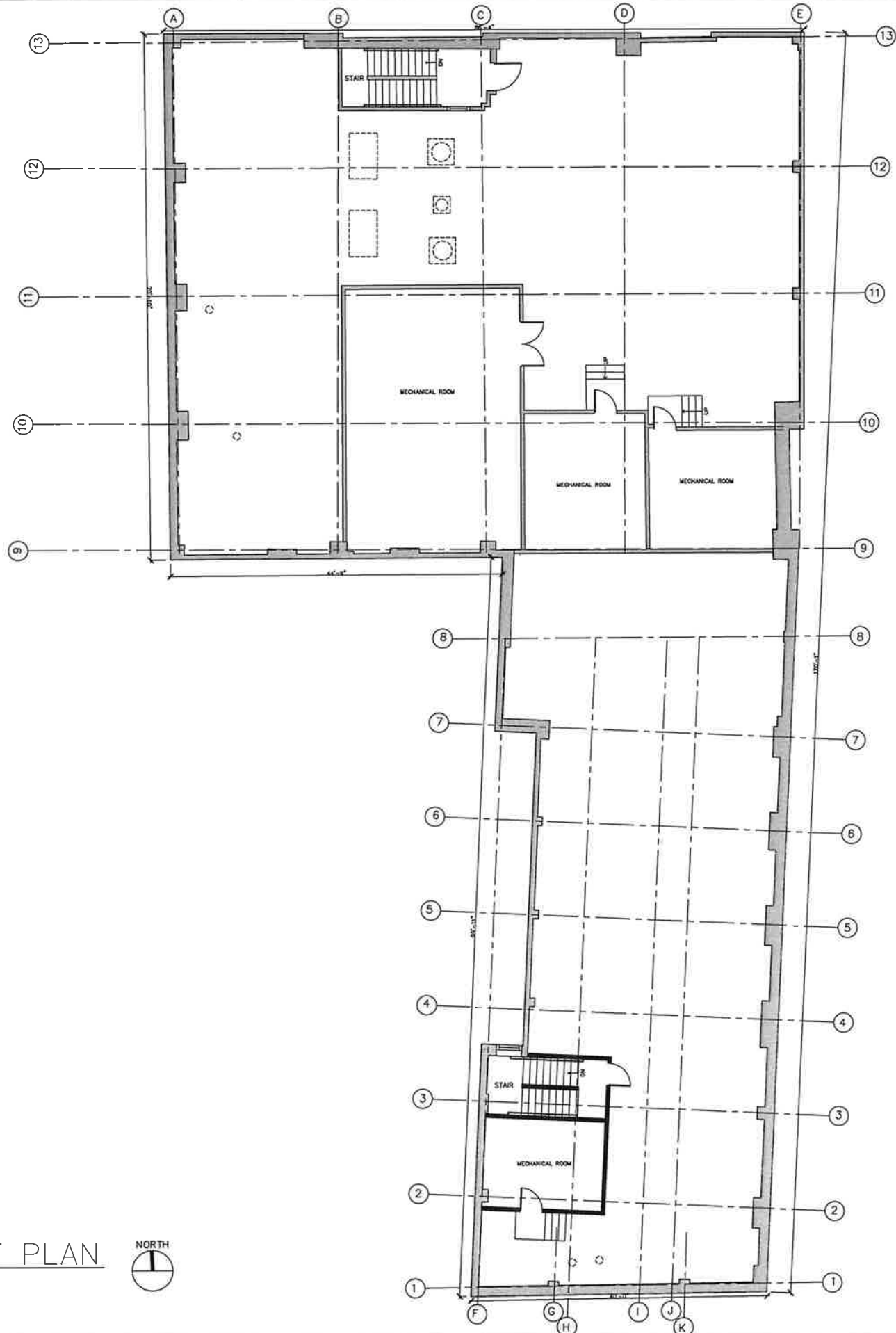
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 NOTES:

NO	DATE	REVISIONS	BY

SHEET TITLE:  
**PROPOSED FIFTH FLOOR PLAN**



DWG NO:  
**A-112**



EXISTING ROOF PLAN

SCALE:  $\frac{1}{8}'' = 1'-0''$

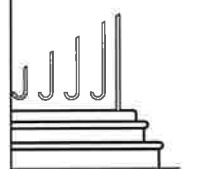


PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

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 NOTES:

NO	DATE	REVISIONS	BY
DRAWN BY:		DS	
CHECKED BY:		ORS	
SCALE:	AS NOTED		
ISSUE DATE:	2 NOVEMBER 2022		

SHEET TITLE:  
**PROPOSED ROOF FLOOR PLAN**

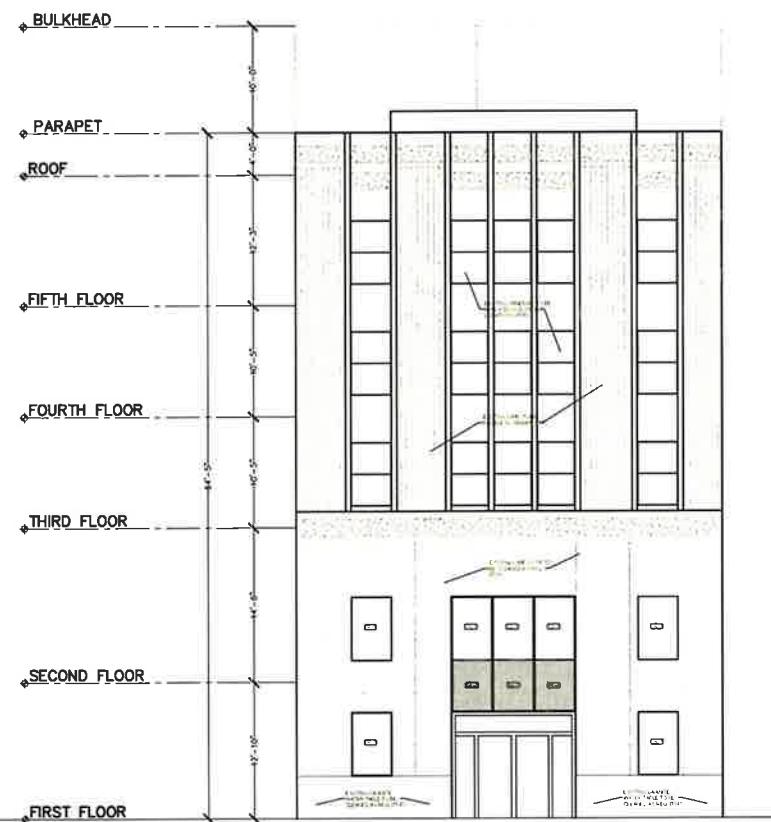


DWG NO:  
**A-113**



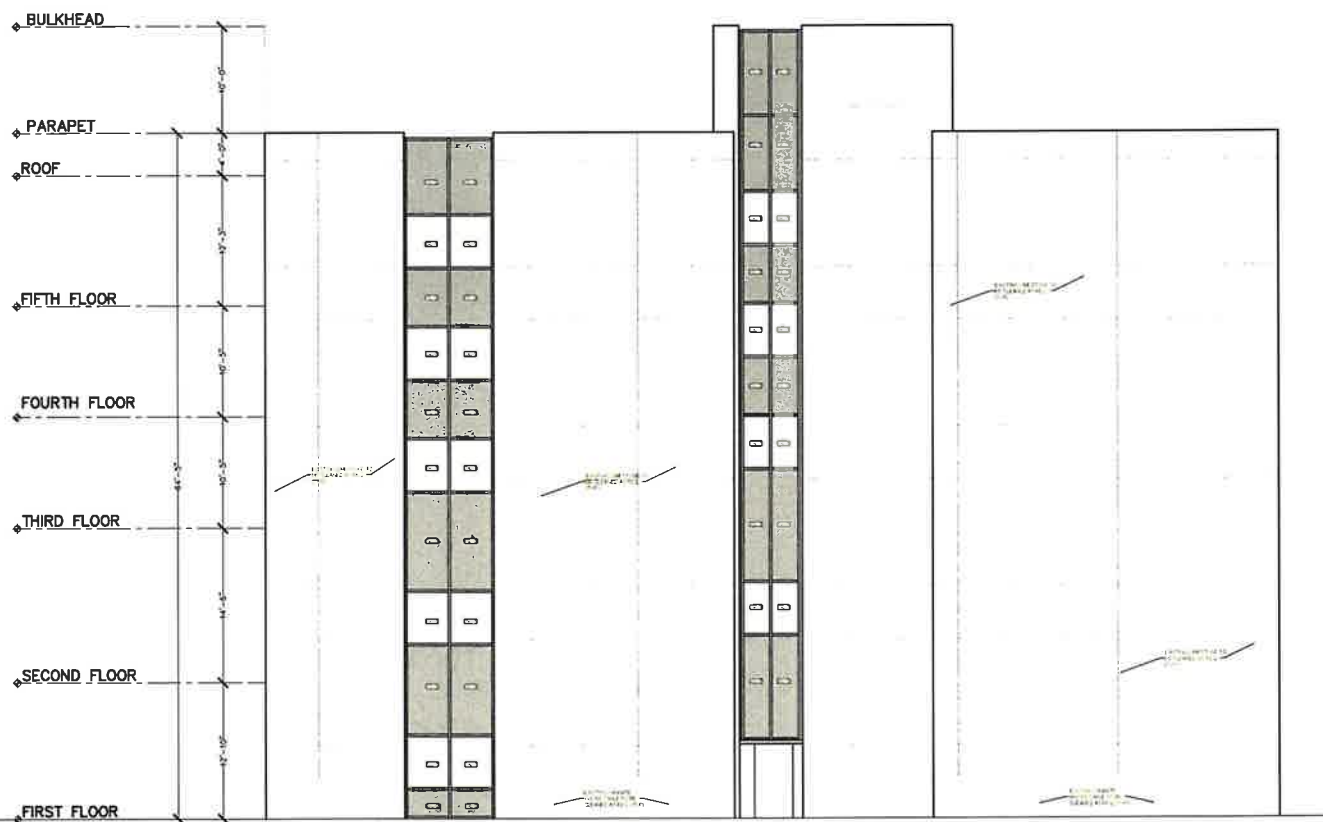
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

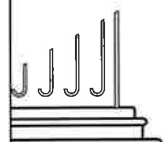
SCALE: 1/8" = 1'-0"

PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

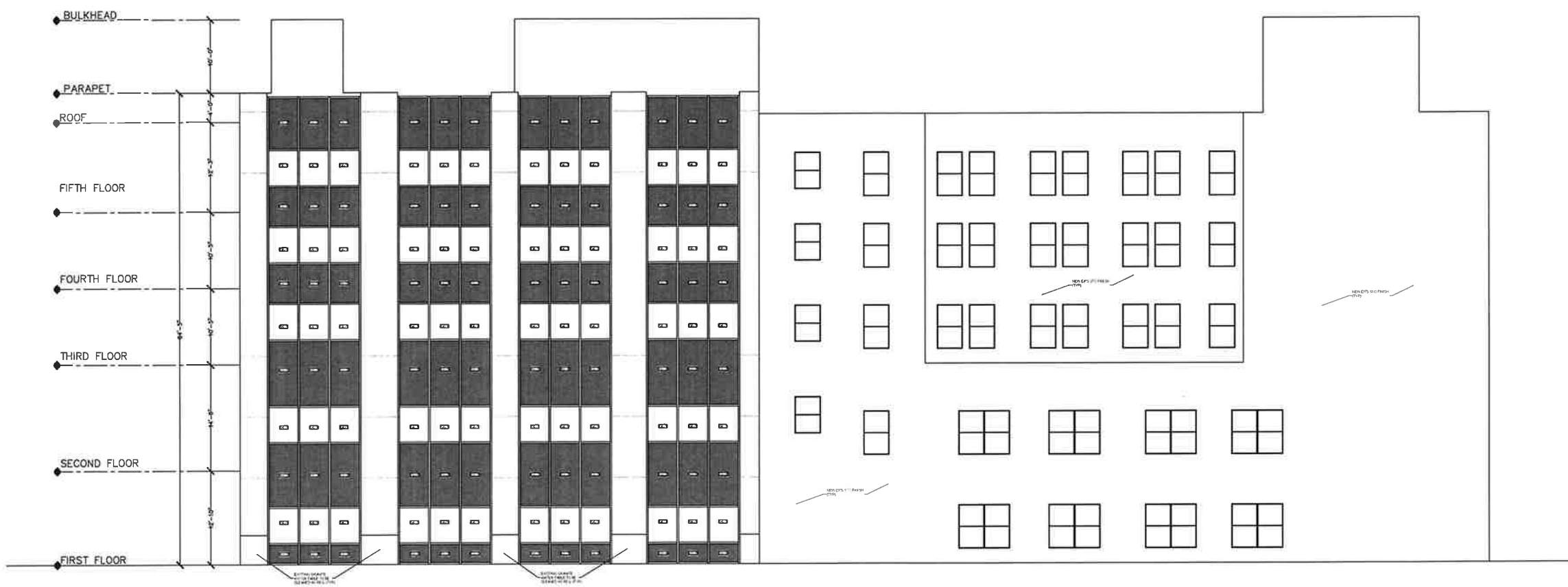
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 NOTES:

NO.	DATE	REVISIONS	BY

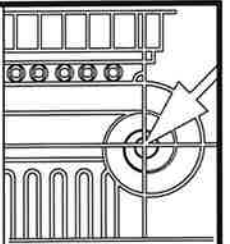
SHEET TITLE:  
**PROPOSED ELEVATIONS**



DWG NO:  
**A-114**



WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



PROJECT NAME:  
**50 ROCK LLC**  
 50 NORTH PARK AVE  
 ROCKVILLE CENTRE, NY 11570

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NOTES:

NO.	DATE	REVISIONS	BY

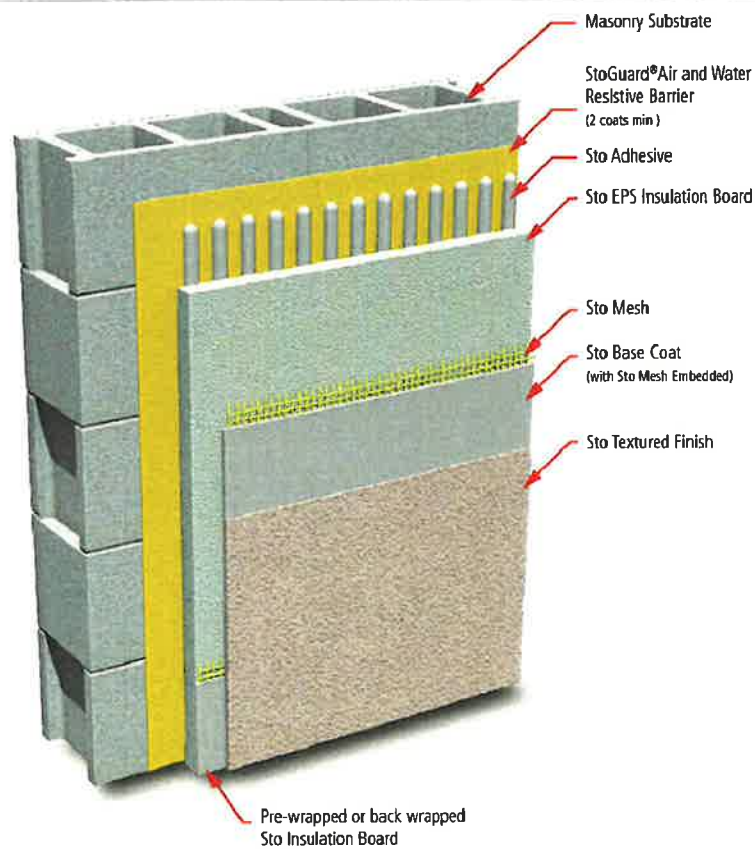
DRAWN BY: DS  
 CHECKED BY: CRS  
 SCALE: AS NOTED  
 ISSUE DATE: 2 NOVEMBER 2022

SHEET TITLE:  
**PROPOSED ELEVATIONS**

DWG NO:  
**A-115**



STO FINISH  
310-10511, PACIFIC SAND  
FINE SAND FINISH



StoTherm SYSTEM COMPONENT DETAIL

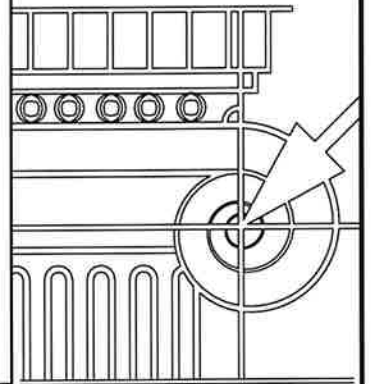


1" OVERALL CLEAR – 5,000 SQ.FT  
: 1/4" SOLARBRONZE TEMP – LOW-E:  
GUARDIAN SUNGUARD® SNX 62/27 OR  
EQUAL ON #2 1/2" SPACE ARGON  
FILLED & 1/4" CLEAR TEMP

1" OVERALL SPANDREL – 2,000 SQ.FT  
: 1/4" SOLARBRONZE TEMP – LOW-E:  
GUARDIAN SUNGUARD® SNX 62/27 OR  
EQUAL ON #2 1/2" SPACE ARGON  
FILLED & 1/4" CLEAR TEMP WITH WARM  
GREY SPANDREL PAINT



FRAME: 2 1/2" x 5 1/2" ALUMINUM  
CURTAINWALL FRAME  
FINISH: CLEAR OR DARK BRONZE  
ANODIZED FINISH



**C.R. SCHWARTZAPFEL, RA**  
ARCHITECT  
889 W BEECH ST  
LONG BEACH, NY 11561  
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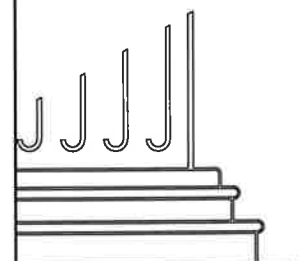
PROJECT NAME:  
**50 ROCK LLC**  
50 NORTH PARK AVE  
ROCKVILLE CENTRE, NY 11570

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NOTES:

NO	DATE	REVISIONS	BY
DRAWN BY:		DS	
CHECKED BY:		CRS	
SCALE:		AS NOTED	
ISSUE DATE:		2 NOVEMBER 2022	

SHEET TITLE:  
**PROPOSED EXTERIOR FINISHES**



DWG NO:

**A-116**